

PARADISE KNOLLS

Specific Plan No. 1402

Prepared for:

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I. EXECUTIVE SUMMARY

NOTE: ALL FIGURES FOR SECTION I, EXECUTIVE SUMMARY, ARE CONTAINED IN TAB IB, EXECUTIVE SUMMARY FIGURES.

A. Document Purpose

The Paradise Knolls Specific Plan (Specific Plan) establishes standards and guidelines for the master-planned community of Paradise Knolls. A specific plan is defined by government code as a tool for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. To an extent, the range of issues that is contained in a specific plan is left to the discretion of the decision-making body. However, all specific plans, whether prepared by a general law city or county, must comply with §65450 - 65457 of the Government Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent subdivision and parcel maps, all development, all public works projects, and zoning ordinances within an area covered by a specific plan must be consistent with the specific plan.

B. Format

This Specific Plan document is divided into the following sections: Executive Summary; Specific Plan; Neighborhood Development Plans; Planning Area Development Standards; and Design Guidelines. The Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the Specific Plan Area;

- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the Specific Plan Area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the general plan, such as architectural or landscape design guidelines.

In response to government requirements, the Specific Plan has been prepared to provide the essential link to the policies of the City of Jurupa Valley General Plan. By functioning as a regulatory document, the Specific Plan provides a means of implementing and detailing the City's General Plan. In this regard, all future development plans or other similar entitlements shall be consistent with regulations set forth in this document and applicable City regulations. The Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as circulation and provisions for utilities. The Specific Plan also ensures that new development meet or exceed standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and community identity.

Section III of the Specific Plan discusses Neighborhood Development Plans. By including the requirement for Neighborhood Development Plans, the City of Jurupa Valley is further assured that future development will be consistent with all of the goals, objectives, guidelines, development standards, and requirements provisions set forth in this Specific Plan.

Although the design and mix of residential types may vary by neighborhood and by location, all future neighborhoods will be required to have the following common characteristics:

- A diversity of architectural styles.
- Attractive, green, walkable streets that provide a safe environment for pedestrians, bicyclists

and children.

- A public amenity in near proximity such as a park, trail or equestrian center.
- Comfortable walking and biking access to a neighborhood commercial center with basic commercial amenities such as shops, markets and restaurants.
- A street network designed to provide alternative routes within the neighborhoods, which also connect to adjoining neighborhoods and corridors for walking, biking and short car trips.

Neighborhoods with these simple, timeless characteristics have generally proven to be the most desirable living environments in cities throughout California over the past century, holding their value through economic downturns and enjoying multiple cycles of reinvestment and renovation. The conventional, automobile- oriented residential development patterns that have been prevalent in recent years in Southern California – such as those long blocks, cul-de-sacs, treeless, walled arterial streets and limited connectivity to adjoining neighborhoods and amenities – do not support the active, healthy lifestyle that Jurupa Valley envisions for its future.

This is discussed in greater detail in Section III.

C. Discretionary Actions and Approvals

The City of Jurupa Valley is the Lead Agency for the Specific Plan, under whose authority this Specific Plan has been prepared. This document will be used by the following public agencies in connection with the following decisions:

1. Jurupa Valley Planning Commission

- Recommendation to the City Council regarding adoption of the Specific Plan by Resolution.
- Recommendation to the City Council regarding approval of Amendment No. 1406 to the General Plan by Resolution.
- Recommendation to the City Council regarding approval of Change of Zone No. 1496 by Ordinance.
- Recommendation to the City Council regarding approval of EIR No. ___ by Resolution.
- Recommendation to the City Council regarding approval of TTM 36822 by Resolution.
- Recommendation to the City Council regarding approval of TTM 36823 by Resolution.

- Neighborhood Development Plans.

2. Jurupa Valley City Council

- Adoption by Resolution of SP 1402.
- Adoption by Resolution of General Plan Amendment No. ___.
- Adoption by Ordinance of Change of Zone No. ___.
- Adoption by Resolution of EIR No. ___.
- Approval of TTM 36822.
- Approval of TTM 36823.

Subsequent discretionary actions may include final tract maps, plot plans and/or Conditional Use Permits, grading permits, water and sewer systems, and encroachment permits.

D. Project Summary

1. Context/Setting/Project Relationship

Jurupa Valley

The Paradise Knolls Specific Plan (Specific Plan) is located in the community of Pedley, within the City of Jurupa Valley, Riverside County, California. According to the Jurupa Area Plan (JURAP), the distinctiveness of the Jurupa area can be found in its wonderful natural setting. From the lush riparian corridor of the Santa Ana River, to the slightly undulating flatlands of Mira Loma, to the dramatic rolling terrain of the Pedley Hills, to the stark, rugged outcroppings of the Jurupa Mountains, the Jurupa area is truly a wondrous and diverse haven for nature and a special location for human habitation.

The western portion of the Jurupa area is primarily flat, with gentle rolling foothills scattered throughout the Glen Avon and Mira Loma areas. North of State Route 60 lies the dramatic sloping terrain of the Jurupa Mountains, which provide a natural backdrop for the communities of Sunnyslope and Belltown. The Pedley Hills provide a picturesque setting for the community of Pedley as well as a pleasing backdrop for communities adjacent to the hills. The Santa Ana River,

with its lush riparian habitat, provides a natural contrast along the southern boundary of Jurupa. Though not located within Jurupa, Mount Rubidoux serves as a prominent visual landmark for residents in Jurupa's eastern communities.

What is intriguing about Jurupa is the large number of distinct communities that have strong local identity. They vary in size, character and focus, but they share a universal strength of commitment to their uniqueness and identity.

Pedley

The community of Pedley is nestled amongst the rolling foothills and canyons of the Pedley Hills in the southern portion of Jurupa. Reaching a peak elevation of 1,424 feet, the Pedley Hills provide the most significant physical feature in central Jurupa and serve as a backdrop for several communities. This community contains a variety of rural and suburban style residential neighborhoods, as well as a commercial district along Limonite Avenue. Industrial uses are located along the banks of the Santa Ana River. The sole Metrolink station in the Jurupa Valley area, located along Limonite Avenue and Van Buren Boulevard, may take on even more important functions in the future.

As the community of Jurupa Valley evolves with its newly acquired Cityhood, the formal recognition of places is beginning to occur. In particular, community leaders officially recognized "Pedley Village Center" as an identifiable area and defined its boundaries through the establishment of the recently adopted "Pedley Village Center Design Guidelines." With the development of City Hall, the Metrolink Station, and planned future development of residential neighborhoods, the area could become a downtown center, similar to the defined commercial area of Rubidoux.

Establishing high quality, well-planned neighborhoods within the Pedley Village Center boundaries provides the City with key opportunities to bring economic development to the area through an increase in demand for shopping, dining and services, which in turn benefits the entire community by increasing property values.

Pedley Village has a historic development pattern characterized by eclectic land uses with a wide range of lot sizes. It has a small-town, semi-rural atmosphere with a great number of farm animals, horses, and residential agricultural uses. While the Paradise Knolls Specific Plan proposes

contemporary housing, it is being designed and is intended to be compatible and complimentary to existing neighborhoods.

Protected Equestrian Sphere Policy Area

According to the JURAP, Paradise Knolls is located within the Protected Equestrian Sphere Policy Area. Equestrian uses are commonplace in Jurupa Valley, particularly in the communities of Mira Loma and Glen Avon. The Protected Equestrian Sphere Policy Area also applies to the Pedley area. The Master Planned Community of Paradise Knolls has been designed to enhance and promote the strong equestrian orientation of Jurupa Valley. Regional equestrian trails are provided within the Project area, and boarding stables will be provided within PA5, Village Neighborhood. Equestrian staging areas, parking areas, trails, and arena(s) will also be provided within PA6, Greenbelt, Open Space, Recreation.

Santa Ana River Corridor Area

Paradise Knolls is also located within the Santa Ana River Corridor Area. According to the JURAP, the Santa Ana River is an integral part of the City and County of Riverside multipurpose open space system. It includes the Santa Ana River Trail, a national recreation trail designated within this corridor that, if completed, will incorporate 110 miles of trail system from San Bernardino County in the north to Orange County in the south. A National Recreation Trail is a designation given to existing trails that contribute to health, conservation, and recreation goals in the United States. Beyond that, it is the centerpiece of a massive, 2,650 square mile watershed that involves major portions of three counties. The river drains southwest toward Prado Dam, and serves as a prominent natural buffer between Jurupa Valley, and the Cities of Riverside and Norco. Several natural and channelized drainage courses connect with the river. In addition to their fundamental water related functions, these watercourses provide corridors through developed land and link open spaces together. Among other things, this is what allows wildlife to move from one open space to another without crossing developed land.

Riverside Municipal Airport Influence Policy Area

Paradise Knolls is also located within Riverside Municipal Airport Influence Policy Area. There are four safety zones associated with the Airport Influence Area. Properties within these zones are subject to regulations governing such issues as development intensity, density, height of structures, and noise. The easterly portion of the Paradise Knolls site is located within Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area. According to pp. 1-5 of the Airport Master Plan for Riverside Airport (August 25, 2009), there are no limits on land uses except to prevent hazards to flight. Large assembly halls are discouraged under the traffic pattern.

Paradise Knolls

The property is currently utilized as the Paradise Knolls Golf Course. Adjacent land uses consist of single-family residential development to the north, single-family residential development to the east, the Santa Ana River to the south, and the Pyrite Wash and agricultural uses to the west.

Topography on the site is characteristic of a golf course with gentle rolling hills. Most of the site has been designed with long linear fairways trending in an east-to-west direction. Fairways in the northeast end of the golf course were laid out in a north-to-south direction. Elevation ranges from a high of 700 feet along the north property line to a low of 640 feet in the southwest corner of the site. Most of the golf course is situated between 690 and 650 feet in elevation over a distance of approximately 1,300 feet through the center of the site in a north-to-south direction. There are no natural irregularities like prominent hills, steep slopes or rock outcrops on the golf course. A levee was constructed along the southern portion of the site that coincides with the north bank of the Santa Ana River. It is elevated approximately 10 feet above the golf course. It consists of approximately 670 feet of rip rap covered by wire mesh in the southeast corner of the site that transitions into a raised earthen berm for approximately 2,730 feet to the southwest corner.

The Paradise Knolls County Club property has been a landmark feature of the Jurupa Valley area since its establishment in 1965. The 107-acres of gently rolling topography provides a rich setting for mature stands of trees (of a variety of physical health) and spectacular vistas of surrounding mountains. Given its proximity to the Santa Ana River, there are great opportunities to provide recreational amenities to the community that are not available at this time.

Paradise Knolls establishes the foundation for a diversity of neighborhood types, all of which have been designed with features reminiscent of earlier times. The Plan allows four (4) different residential neighborhood densities, along with differing housing architectural styles and product types. The Specific Plan also identifies one commercial neighborhood and several areas for open/green space and recreation. These Planning Areas/Neighborhoods are:

1. Rural Neighborhood (PA4);
2. Traditional Neighborhood (PA1);
3. Village Neighborhood (PA5);
4. Multi-family Neighborhood (PA2);
5. Neighborhood Commercial (PA3); and
6. Greenbelt, Open Space, Recreation (PA6).

The Paradise Knolls neighborhoods will provide a naturalistic, landscaped, pedestrian friendly, nostalgic and unique neighborhood setting; a setting different from development found elsewhere in surrounding areas. Connected by trails, parks and landscaped walkways, Paradise Knolls is a small-town neighborhood features that will remain faithful to the community and identity of Jurupa Valley. Please refer to the detailed descriptions of the neighborhood characteristics provided in Section II of this Specific Plan.

Riverside County Regional Park and Open Space District

Adjacent to the southeasterly portion of the Specific Plan (southerly of the intersection of Downey Street and 64th Street, the County of Riverside owns an approximate 26-acre parcel that is within their inventory of parkland. There are no improvements on this site, which abuts the Santa Ana River.

California-Nevada Line Construction Industry (California-Nevada JATC)

The Specific Plan area surrounds the J.A.T.C. on three (3) sides. Planning Areas 2 and 4 immediately abut the J.A.T.C. Training Facility. This facility consists of a building, parking, and training poles in the rear of the facility. The training poles portion of the site is surrounded by an approximately thirty foot (30') high fence.

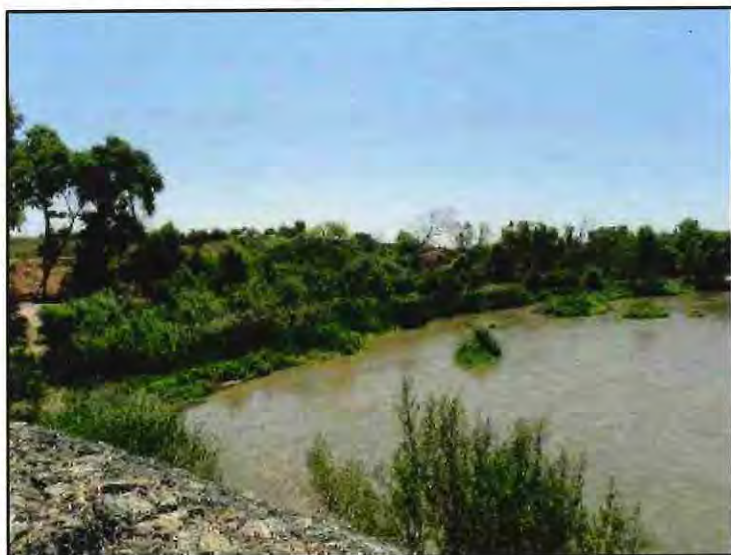
The J.A.T.C. Training Facility operates Monday through Saturday from 7 a.m. to 4 p.m. The number of visitors to the site on a daily basis are anywhere from eight (8) to twenty-five (25), with a maximum of one hundred (100) people on occasion. Training is held every day except Sundays. Landscaping and buffers shall be provided by Paradise Knolls to screen both the residents of the Paradise Knolls Community and the J.A.T.C. Training Facility.

According to the JATC website, the Joint Apprenticeship and Training Committee of the California-Nevada Line Construction Industry (California-Nevada JATC) is a non-profit association designed to systematically train unionized workers for the outside electrical construction industry.

The main focus of the California-Nevada JATC is to provide the outside electrical industry within the two states with an adequate number of highly skilled, journey level workers.

Commercial Development and Metrolink

Commercial development exists less than ½ miles to the east of the Specific Plan. The Pedley Metrolink Station is located approximately 0.8 miles to the east of Paradise Knolls.



2. Project Description

The Specific Plan proposes a combination of residential, commercial, as well as recreational and open space uses. With a total of 650 attached and detached residential units and ten (10) distinct product types, the community will serve a variety of ages, income levels, and lifestyles. Five (5) varieties of single-family homes may be allowed in Planning Areas 1, 4, and 5, and four (4) multi-family residential products are permitted in Planning Area 2. Live/Work and residential over retail may be permitted in PA3. These home types are described below:

- Single-Family Detached: Traditional – Large Lot;
- Single-Family Detached: Traditional;
- Single-Family Detached: Paired;
- Single-Family Detached: Narrow/Deep;
- Single-Family Detached: Cluster (Garden Court or Motor Court);
- Multi-Family Attached: Duplex /Triplex;
- Multi-Family Attached: Townhomes;
- Multi-Family Attached: Courtyards;
- Multi-Family Attached: Stacked Flats; and
- Live/Work and Residential Over Retail.

Residential densities vary between 2.0 and 30.0 dwelling units per acre, consistent with the City's General Plan designations of Low Density Residential (0.0 – 2.0du/ac), Medium Density Residential (2.0 – 5.0 du/ac), Medium High Density Residential (5.0 – 8.0 du/ac), and Highest Density Residential (20+ du/ac). Overall target Project density will be 6.06 dwelling units per acre. Reference Figure I-1, *Land Use Plan*.

Traditional Neighborhood (PA1) is approximately 21.5 acres, and is designated Medium Density Residential (MDR) development and will allow for lots in the 6,000 – 7,000 square foot range. PA1 has been located in the eastern portion of the Specific Plan, adjacent to Limonite Avenue and Downey Street in an effort to provide a transition to the existing, surrounding residential development.

Multi-family Neighborhood (PA2) is approximately 10.4 acres, and is designated Highest Density Residential (HHDR). It is anticipated that multi-family condominium development will occur in

PA2. PA2 is adjacent to the main Project entry at the intersection of Limonite Avenue and Beach Street. Approximately 2.6 acres of PA2 are located southerly of PA3 (described below). The remaining 7.8 acres of PA2 are located southerly of Limonite Avenue, westerly of the main Project access and easterly of the California/Nevada Joint Apprenticeship Training Committee (JATC) facility. Private recreation facilities will be provided within PA2, for the sole use of residents of PA2.

Neighborhood Commercial (PA3) is approximately 2.2 acres, and is designated Commercial Retail (CR). PA3 has been located at the southeast corner of Limonite Road and the main Project access. PA3 will allow for up to 30,000 square feet of neighborhood commercial retail uses to create a vibrant neighborhood resource with opportunities for shopping, eating, and socialization for residents of the Specific Plan. The commercial component of Paradise Knolls will also serve to provide the surrounding community with an opportunity to take advantage of the gathering spaces, restaurants, and retail services.

Rural Neighborhood (PA4) is approximately 4.4 acres, and is designated Low Density Residential (LDR). PA4 is located in the northwesterly corner of the Specific Plan, westerly of the JATC Training Facility, easterly of the Pyrite Wash, on the south side of Limonite Avenue. It is anticipated that ½-acre residential lots, with potential for horse keeping, will be developed in PA4. PA4 has been located in this portion of the Specific Plan, in an effort to provide a transition to the existing, surrounding residential development.

Village Neighborhood (PA5) is approximately 34.6 acres, and is designated Medium High Density Residential (MHDR). PA5 is located internal to the Specific Plan, and flanks the southerly extension of the main Project access road (Beach Street). The two (2) main east-west trending Project Streets also frame PA5 (see Figure II-1, *Vehicular Circulation Plan*).

The northern portion of PA5 contains an approximate six (6) acre private recreation area, referred to as the “Recreational Concourse.” It is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and pathway to PA6 and the Santa Ana River. PA5 has been centralized within the Specific Plan in an effort to concentrate residential densities within the Project, allowing

transitions from lower densities on the Project perimeter (reference discussion for PA's 1 and 4, above).

Greenbelt, Open Space, Recreation (PA6) is approximately 18.2 acres, and is designated Open Space (OS). PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa Ana River is only permitted as part of payment of green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility is anticipated in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project's easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6. Pedestrian access to PA6 will be via perimeter City roadways and streets internal to the Specific Plan. One pedestrian access will be provided from PA5 to PA6 in the portion of PA5, east of Beach Street, south of "A" Street.



Overall, there are approximately 24.2 acres (or 22.6% of the Project site) of both public and private park/open space areas in the Specific Plan (this does not include any potential private open space uses to be located in PA2).

Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the community. There is an existing 36" sewer line, and 8" sewer line located in Limonite Avenue and Downey Street, respectively. The Project will tie into the 36" sewer line in Limonite Avenue. There is an existing east-west trending sewer force main that bisects the Specific Plan. There is an existing 12" water line, and an existing 8" water line located in Limonite Avenue and Downey Street, respectively. The Specific Plan will tie into both of these lines.

The circulation network accounts for approximately 15.9 acres of the Specific Plan Area and is designed to adequately facilitate vehicular travel throughout the Specific Plan. The following is a summary of the adjacent and on-site Project roadways:

- Limonite Avenue is located adjacent to the northerly Project boundary. Limonite Avenue is envisioned to provide east/west access between Interstate 15 and the community of Rubidoux to the east;
- Downey Street is located along the easterly boundary of the Project; and,
- On-site access is provided via Beach Street Entry, "A" Street, "B" Street, and Beach Street, South of "A" Street, local streets, and cul-de-sacs.

Necessary infrastructure and other facilities will accommodate the needs of the community at build out. Table I-1, *Specific Plan Land Use Summary*, provides a detailed description of the land uses provided for in the Specific Plan Land Use Plan.

Table I-1
Specific Plan Land Use Summary

General Plan / Specific Plan Land Use	Acres	Target Density Range	Dwelling Units Proposed	Dwelling Unit Range
Residential				
Low Density Residential (½ acre minimum) (PA4)	4.4	0-2	6	0-10
Medium Density Residential (2-5 d.u./acre) (PA1)	21.5	2-5	96	44-110
Medium High Density Residential (5-8 d.u./acre) (PA5)	34.6	5-8	248	173-277
Highest Density Residential (20+ d.u./acre) (PA2)	10.4	20+	300	145-312
- Residential Subtotals	70.9		650	362-709
Non-Residential				
Commercial Retail (PA3)	2.2	--	--	N/A
Open Space – Recreation (Private) ¹	-	--	--	N/A
Open Space – Zone AE (PA6)	18.2	--	--	N/A
Major Circulation	15.9	--	--	N/A
- Non-Residential Subtotals	36.3			N/A
Project Totals	107.2	6.06	650	N/A

¹ Six (6) acres included in PA5 – Medium High Density Residential acreage.

The Paradise Knolls Specific Plan includes design elements such as land use compatibility, complementary architectural design, and a unified, attractive landscape concept that are consistently applied to assure a varied, fully integrated and attractive community. All design elements will be consistent with the overall Project theme of “River Ranch Trails.”

E. Jurisdictional Setting

The Specific Plan Area is located within the jurisdiction of the following government agencies, departments, and districts:

- City of Jurupa Valley;
- Riverside County Fire Department;
- Riverside County Flood Control and Water Conservation District;
- Western Municipal Water District;
- Jurupa Unified School District;
- Jurupa Community Services District;
- Jurupa Area Recreation and Park District;
- Riverside County Regional Park and Open Space District;
- Santa Ana Region Water Quality Control Board;
- California Department of Fish and Wildlife;
- U.S. Fish and Wildlife Services;
- U.S. Army Corps of Engineers;
- Santa Ana River Watershed; and,
- Riverside Municipal Airport Influence Area – Municipal Zone.

F. Project Setting**1. Overall Setting**

As shown in Figure I-2, *Regional Map*, Paradise Knolls is located in the City of Jurupa Valley, in the community of Pedley.

Adjacent land uses consist of single-family residential development to the north, single-family residential development to the east, the Santa Ana River to the south, and the Pyrite Wash and agricultural uses to the west. The Specific Plan area surrounds the J.A.T.C. on three (3) sides. PAs 2 and 4 immediately about the J.A.T.C. Training Facility. Reference Figure I-3, *Vicinity Map*.

Surrounding Cities

The following Cities are located in proximity to Paradise Knolls:

- City of Norco: approximately 7.1 miles southwest;
- City of Fontana: approximately 11.2 miles to the north;
- City of Riverside: approximately 6.2 miles to the east; and,
- City of Eastvale: approximately 5.0 miles west.

G. Existing Site Characteristics

As shown in Figure I-4, *Aerial Photograph*, the Specific Plan Area Project site is currently being used as an 18-hole golf course. The Paradise Knolls Golf Course has been operating since 1965. The site is bordered to the north by Limonite Avenue and residential uses, to the east by Downey Street and residential uses, to the west by Pyrite Wash and agricultural uses, and to the south by the Santa Ana River. The Assessor Parcel Numbers (APNs) for the Specific Plan Area are shown of Figure I-5, *Assessor's Parcel Number Map*.

Topography on the site is characteristic of a golf course with gentle rolling hills. Most of the site has been designed with long linear fairways trending in an east-to-west direction. Fairways in the northeast end of the golf course were laid out in a north-to-south direction. Elevation ranges from a

high of 700 feet along the north property line to a low of 640 feet in the southwest corner of the site. Please reference Figure I-6, *Topographic Map*.

1. Land Use and Zoning Designations

As shown in Figure I-7a, *Existing General Plan Land Use Map*, the Specific Plan Area is designated by the Jurupa Area Plan of the Riverside County General Plan as “Open Space Recreation (OS-R).” Upon approval of the Specific Plan, land use designations will be consistent with the Specific Plan Land Use Plan, which is indicated on Figure I-1, *Land Use Plan*, and reflected on Figure 1-7b, *Proposed General Plan Land Use Map*. The Foundation Component will need to be changed from “Open Space” to “Community Development.” It is anticipated that this Foundation Component change will be allowed with the processing of the entire Project, and not be subject to the Five Year General Plan Review Cycle, as required under City Ordinance No. 2013-02.

As shown on Figure I-8a, *Existing Zoning Designations*, the Specific Plan Area is zoned “Light Agriculture, 4 acre minimum lot size (A-1-4)” and “Heavy Agriculture, 5 acre minimum lot size (A-2-5)”. Upon approval of the Specific Plan, zoning for the entire community will become Specific Plan No. 1402, as reflected on Figure 1-8b, *Proposed Zoning Designations*.

H. Planning Objectives & Project Benefits

Planning Objectives

All site conditions were thoroughly examined and considered during the preparation of the Specific Plan. Engineering feasibility, market acceptance, economic viability, City Comprehensive General Plan goals, Jurupa Area Plan goals, Multi Species Habitat Conservation Plan (MSHCP) criteria, and local community goals all were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of the community to the City, specific planning and development goals were established by this extensive analysis. Traditional neighborhoods features include such elements as: front yard porches, opportunities for pedestrian interaction, landscaping between curbs and sidewalks, tree-lined streets with canopies providing shaded yards and streets, and unobtrusive garages. Connected by trails, parks and porches, Paradise Knolls is intended to include small-town

neighborhoods faithful to the community and identity of Jurupa Valley.

With these specific Project goals in mind, the following objectives have been established for the Specific Plan:

- Develop a master-planned community with the creation of traditional, “small town neighborhoods;”
- Provide Improvements that will contribute to a more efficient system of regional drainage;
- Creation of healthy, pedestrian-friendly, inter-active neighborhoods where individuals thrive;
- Ensure that residential planning areas are located in close proximity to services, transportation links and recreational amenities;
- Promote equestrian uses throughout the community;
- Establish recreational facilities capable of serving Paradise Knolls as well as the entire Jurupa Valley region;
- Implement housing type diversity by providing a variety of single family and multi-family residential homes designed to be marketable within the evolving economic profile within the City of Jurupa Valley;
- Establish a community-wide circulation system that meets the community needs and accommodates a variety of transportation modes;
- Provide recreational opportunities;
- Develop guidelines for architecture, landscaping, color treatments, paving, walls, fencing, signage, and entry treatments that will reinforce the community theme of “River Ranch Trails;” and,
- Develop an environment that is visually attractive and efficiently and effectively organized, including a pleasing landscape palette.

Project Benefits

The following benefits shall be realized from the implementation of the Specific Plan:

- The Project will take its primary access off of Limonite Avenue, which is a Circulation Element Road, a TUMF Roadway, and a major east-west corridor;
- Approximately 16.9% of the Project will be utilized as a greenway that will have a variety of uses to include trails, and an equestrian staging area;
- The greenway will provide access for the community to the Santa Ana River, which is currently restricted by the Golf Course;
- Up to 650 units are proposed. The housing types will allow for additional housing opportunities that are not currently present in the City;
- The Project will be buffered by Limonite Avenue to the north, Downey Street to the east, the Santa Ana River to the south and a well-defined drainage channel to the west;
- At buildout, the Project will have a positive fiscal impact to the City;
- Approximately 30,000 square feet of neighborhood serving retail is proposed. This will provide an opportunity to reduce trip lengths for neighborhood services;
- The Project will be a master planned community, with quality development. Planning includes architecture and landscape architecture design guidelines;
- The Project is consistent with the Santa Ana River Corridor; and,
- The Project is consistent with the Protected Equestrian Sphere.

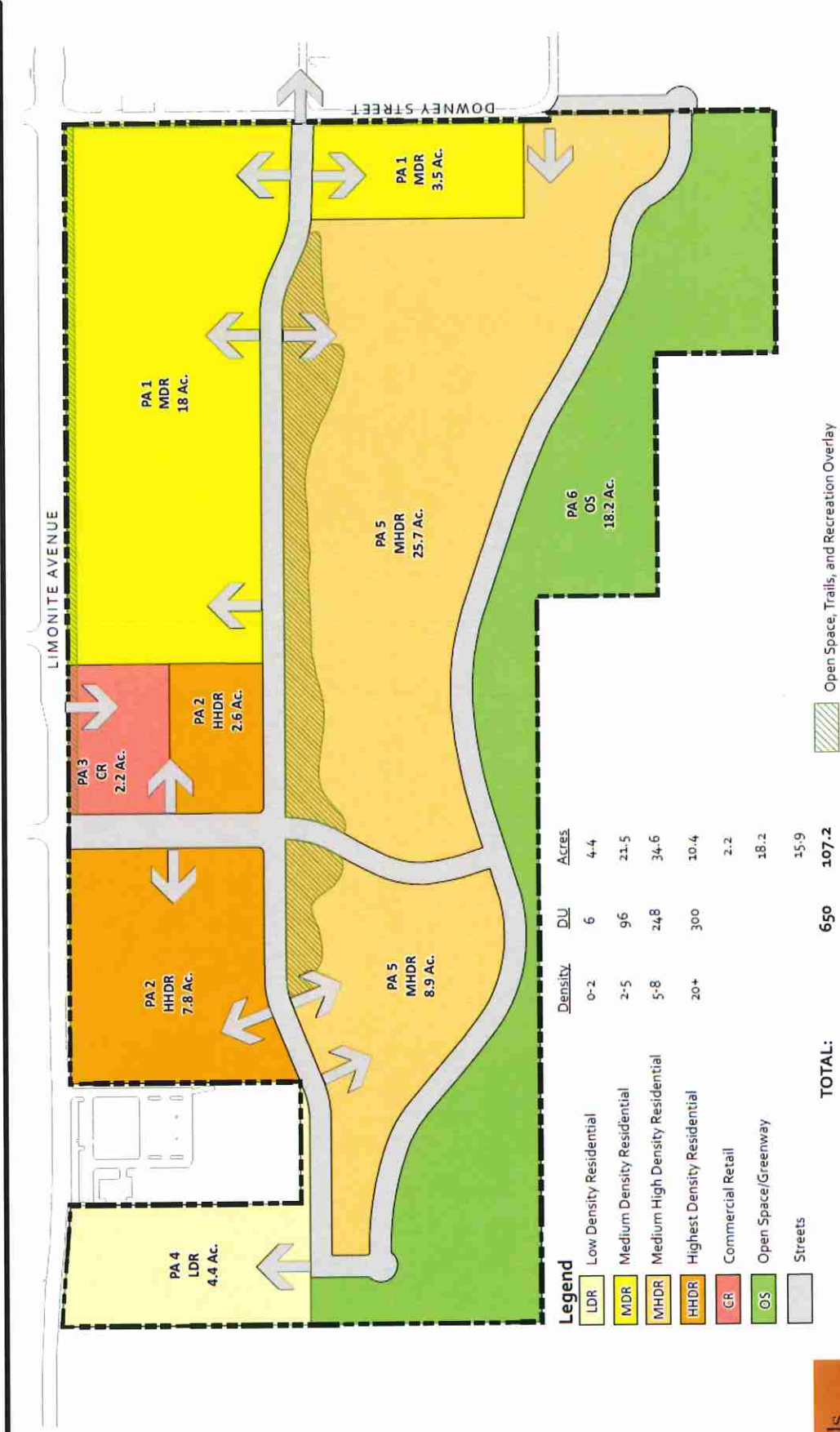
I. Financing Mechanisms

All specific plans must contain a "program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3)" pursuant to Government Code §65451(a)(4). Common strategies are to include a form of an overlay-zone or other zoning-like regulations as part of the implementation program. Implementation of public infrastructure and facilities policy is also commonly accomplished through the inclusion of a capital improvements program.

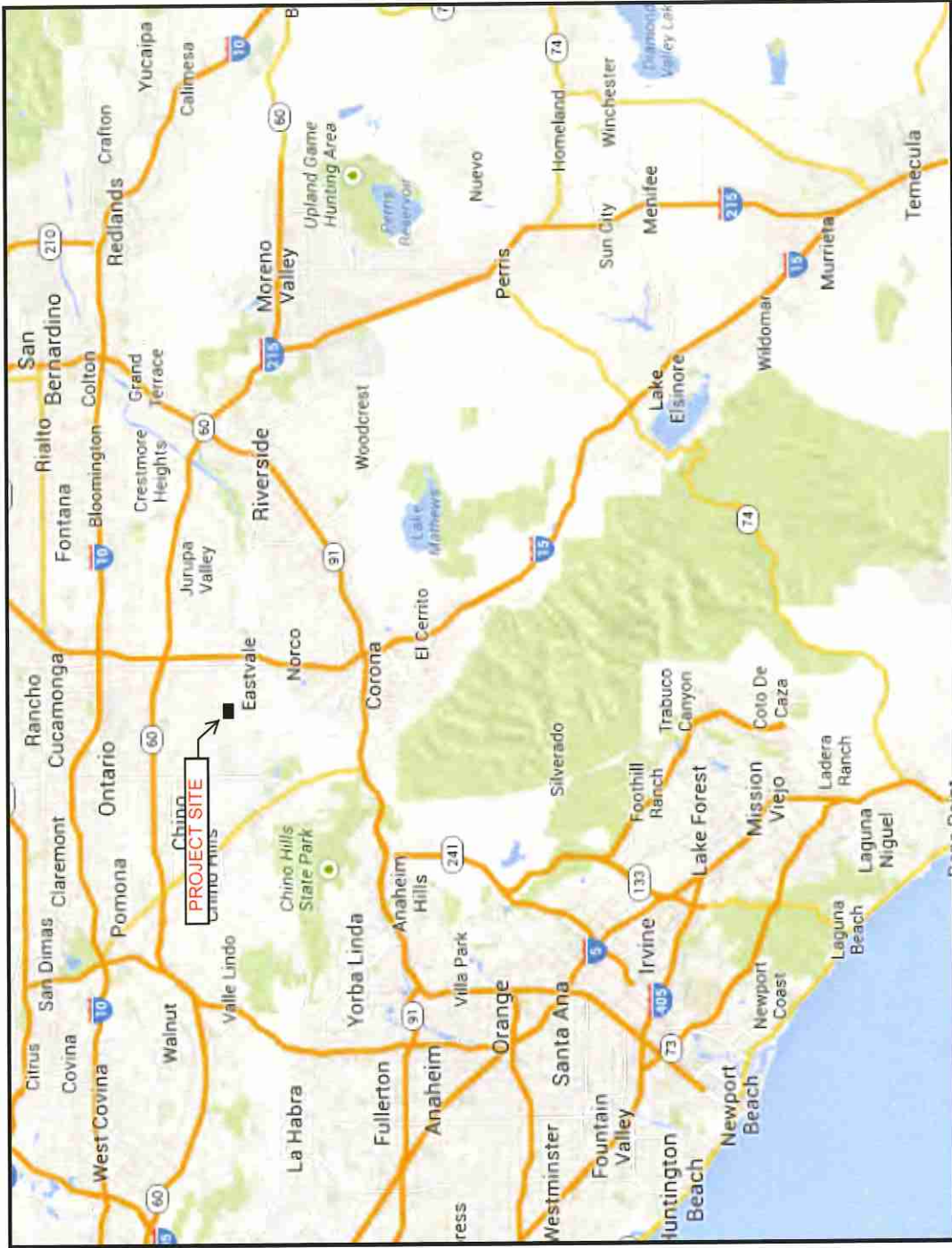
The major infrastructure costs for the Specific Plan and off-site areas will be financed through appropriate funding mechanisms acceptable to the City of Jurupa Valley. This may include private

financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from certain County, State and other agency fee programs; and/or other acceptable financing mechanism available to the City.

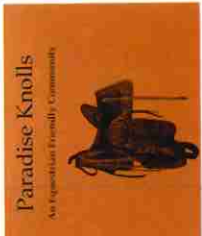
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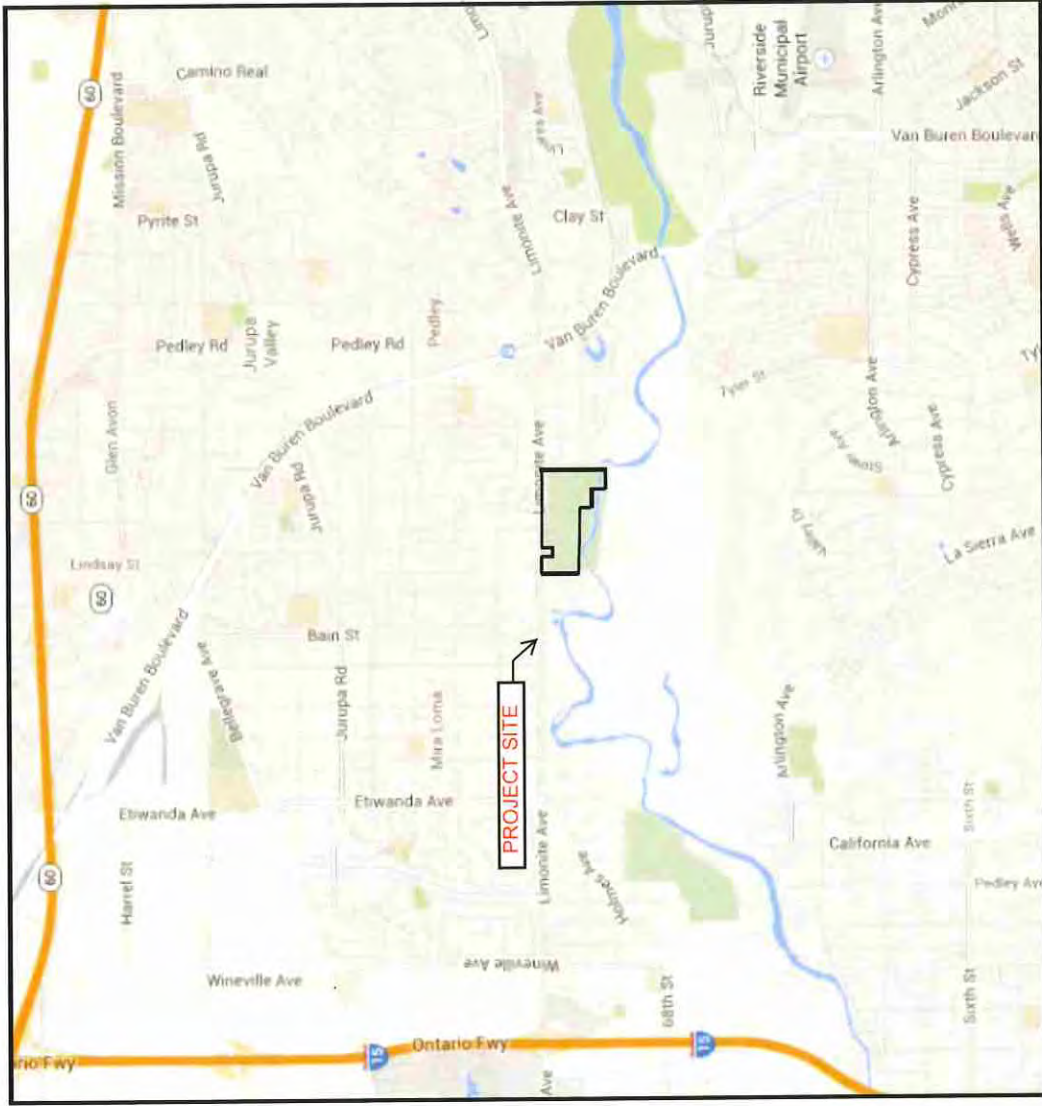
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REGIONAL MAP - FIGURE I-2



Section I: Executive Summary



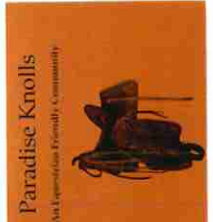
VICINITY MAP - FIGURE I-3



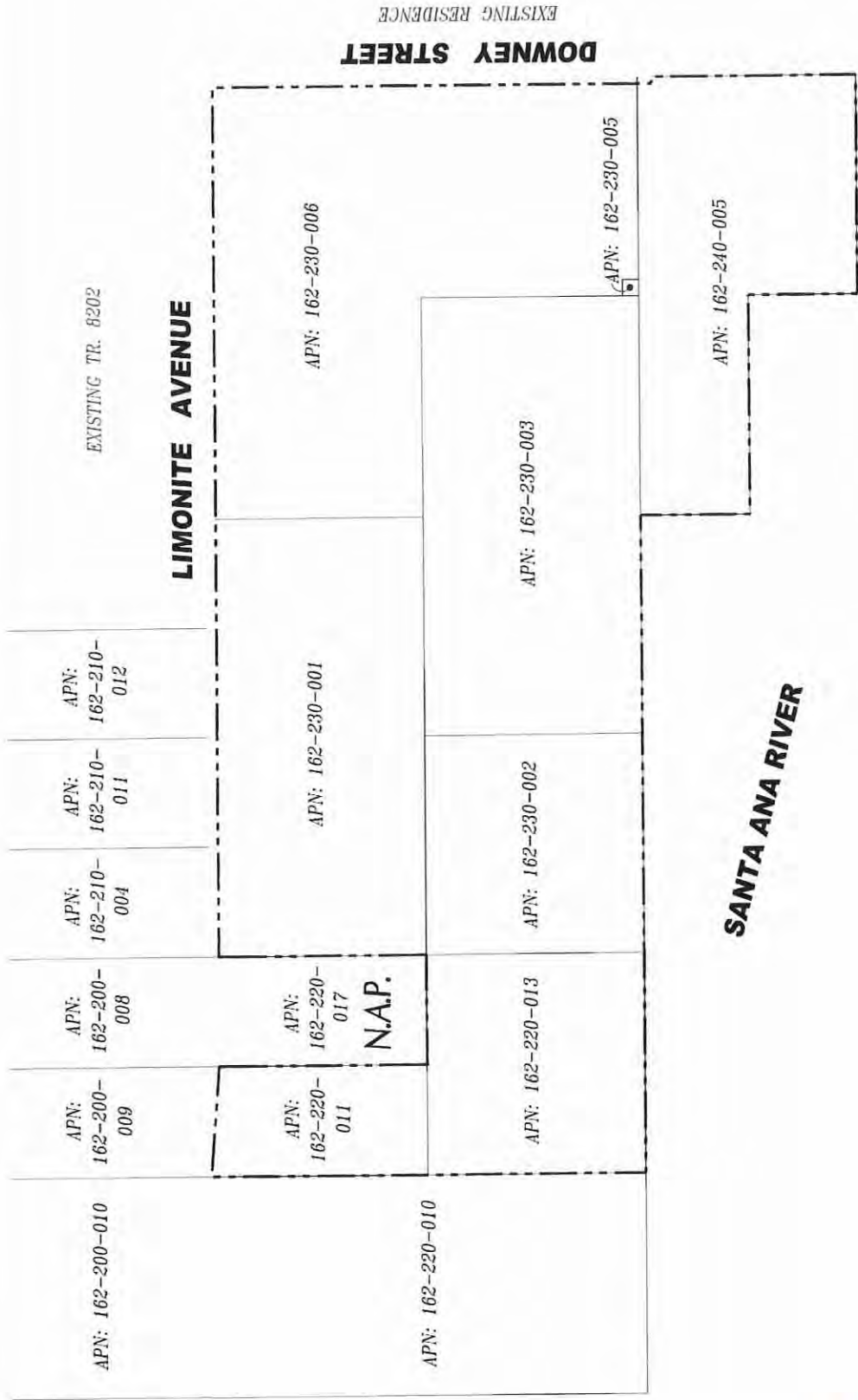
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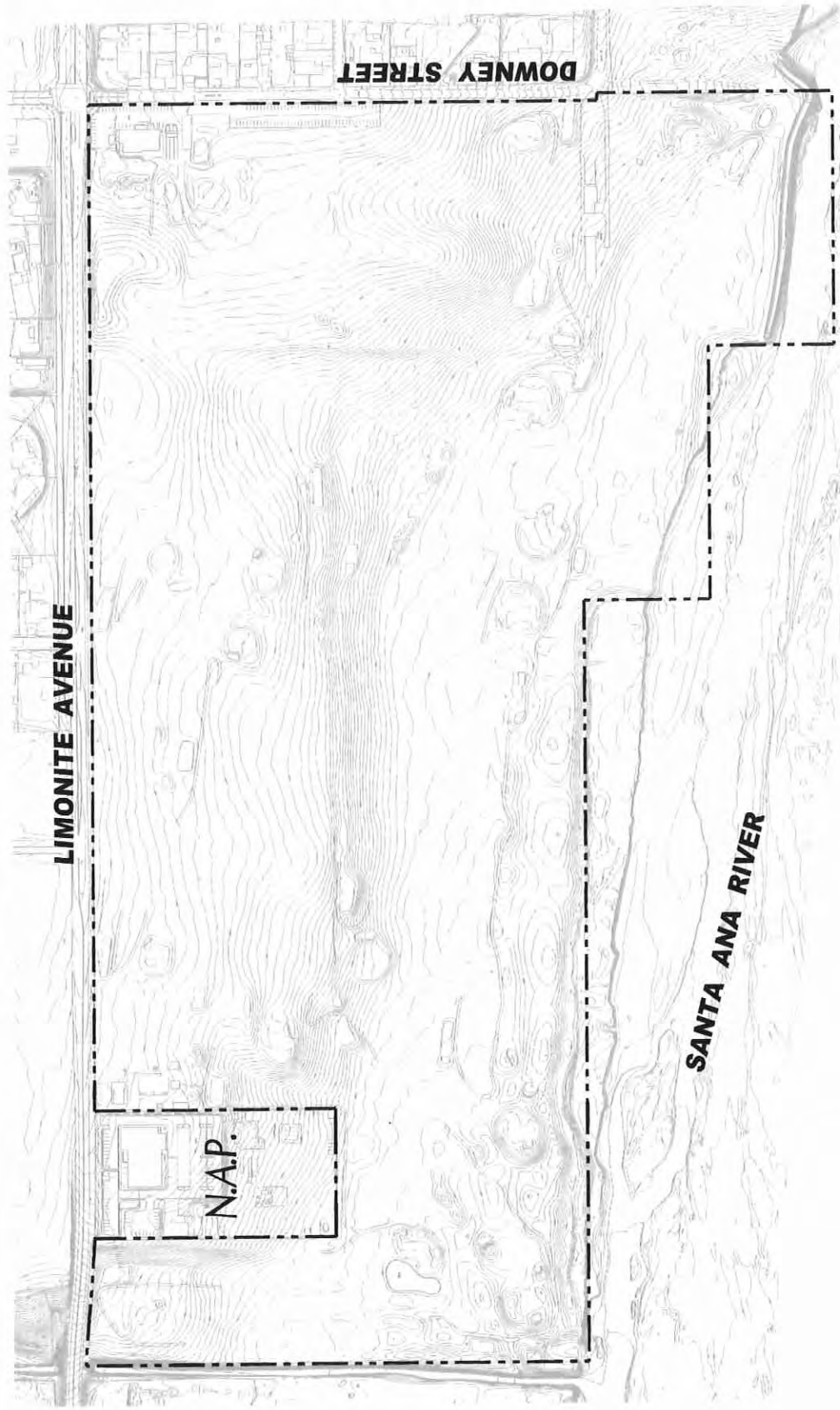
AERIAL PHOTOGRAPH - FIGURE I-4



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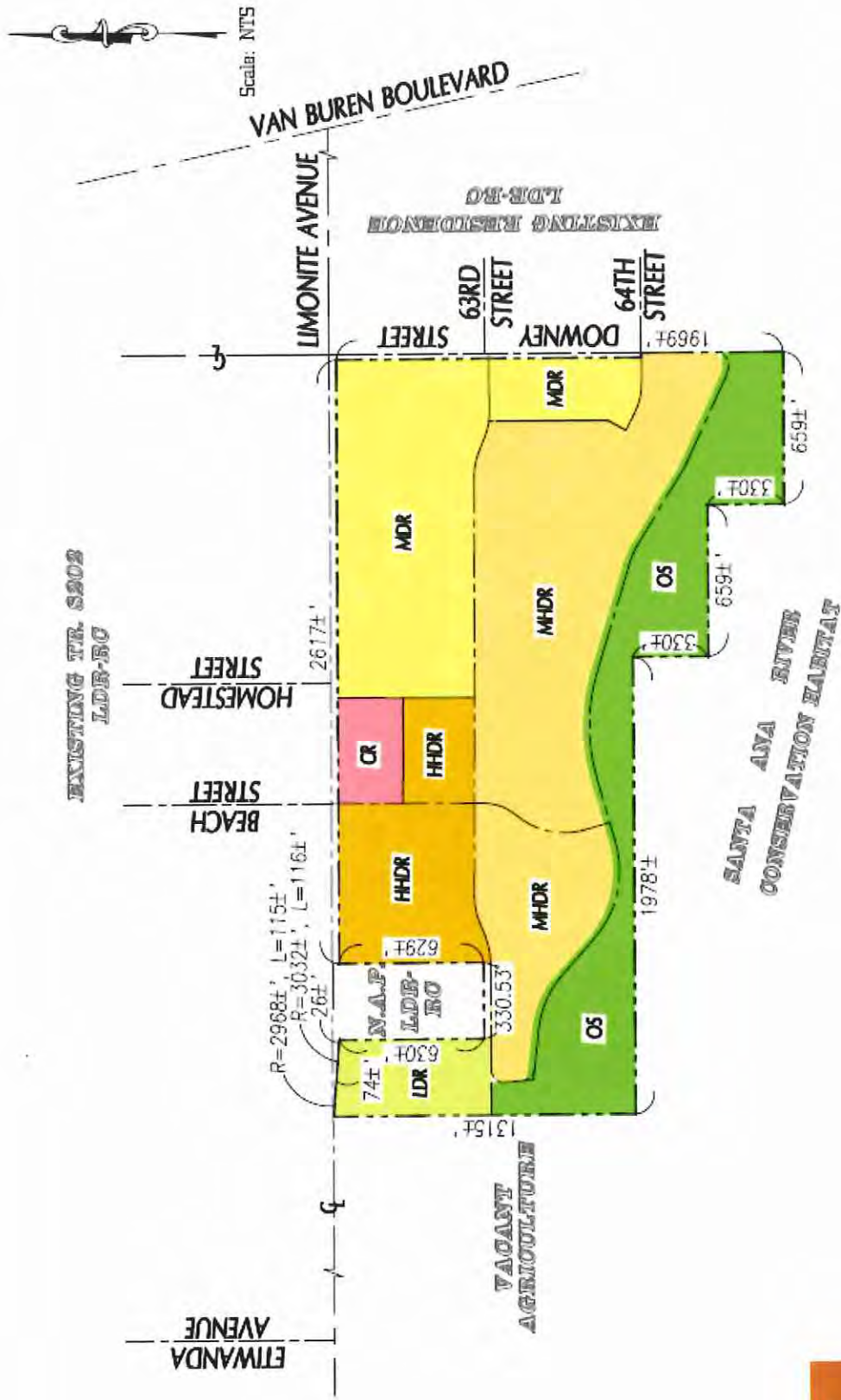
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EXISTING GENERAL PLAN LAND USE MAP - FIGURE I-7a



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PROPOSED GENERAL PLAN LAND USE MAP - FIGURE I-7b

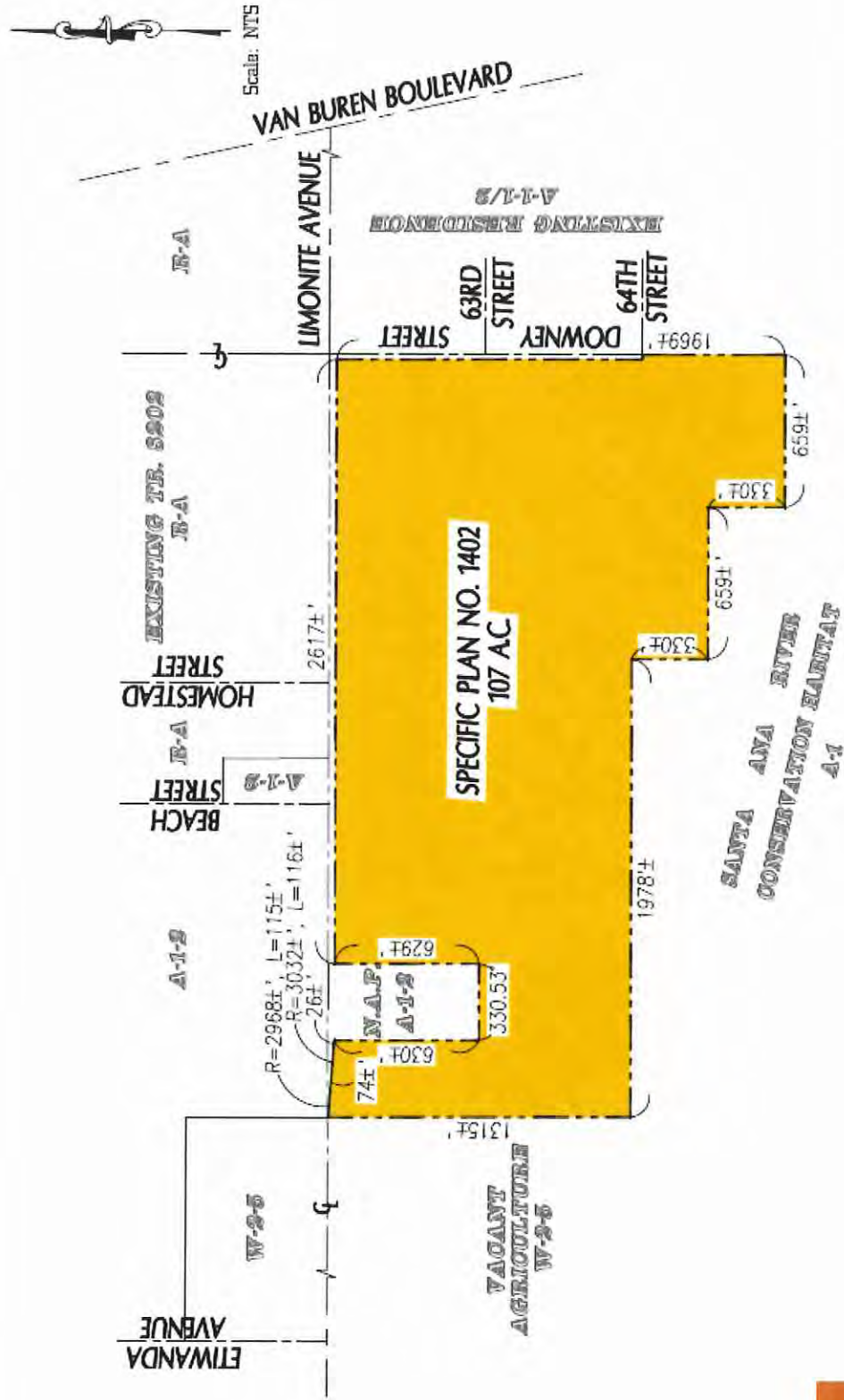


Section I: Executive Summary



EXISTING ZONING DESIGNATIONS - FIGURE I-8a





Scale: NTS



II. SPECIFIC PLAN

NOTE: ALL FIGURES FOR SECTION II, SPECIFIC PLAN, ARE CONTAINED IN TAB IIB, SPECIFIC PLAN FIGURES.

A. Land Use Plan**1. Development Concept**

The Paradise Knolls Specific Plan (Specific Plan) establishes a master-planned community consisting of both single and multi-family residential units in a variety of potential housing types, a retail, open space, and a wide array of recreational amenities including a private park, pedestrian and equestrian trails, and private recreation center.

Planning Areas (PAs) within the Specific Plan were formed on the basis of environmental constraints, existing uses, logical placement and neighborhood scale. Criteria considered in this process included drainage systems, existing flood control facilities, existing trees, existing sewer facilities, existing and proposed roadway circulation patterns, desired home types and compatibility between land uses.

Although the design and mix of residential types may vary by neighborhood and by location, all future neighborhoods will be required to have the following common characteristics:

- (1) A diversity of architectural styles.
- (2) Attractive, green, walkable streets that provide a safe environment for pedestrians, bicyclists and children.
- (3) A public amenity in near proximity such as a park, trail or equestrian center.
- (4) Comfortable walking and biking access to a neighborhood commercial center with basic commercial amenities such as shops, markets and restaurants.
- (5) A street network designed to provide alternative routes within the neighborhoods, which also connect to adjoining neighborhoods and corridors for walking, biking and short car trips.

All of the neighborhoods, discussed in greater detail below, will incorporate these common characteristics.

A total of 650 attached and detached dwelling units are planned within the Specific Plan. As shown in Figure I-1, *Specific Plan Land Use Plan*, residential land uses vary in target density from 0.0 to 30.0 dwelling units per acre (du/ac), with a gross Project target density of 6.06 dwelling units per acre. The Specific Plan provides for up to ten (10) different housing types including:

- Single-Family Detached: Traditional – Large Lot;
- Single-Family Detached: Traditional;
- Single-Family Detached: Paired;
- Single-Family Detached: Narrow/Deep;
- Single-Family Detached: Cluster (Garden Court or Motor Court);
- Multi-Family Attached: Duplex /Triplex;
- Multi-Family Attached: Townhomes;
- Multi-Family Attached: Courtyards;
- Multi-Family Attached: Stacked Flats; and,
- Live/Work and Residential Over Retail.

The Traditional Neighborhood (PA1) is approximately 21.5 acres, and is designated “Medium Density Residential (MDR),” and will allow for lots in the 6,000 – 7,000 square foot range, which would be considered “traditional single-family” development. PA1 has been located in the eastern portion of the Specific Plan, adjacent to Limonite Avenue and Downey Street in an effort to provide a transition to the existing, surrounding residential development; while being located in proximity to private and public open space/recreation, pedestrian networks and commercial uses.

The Multi-Family Neighborhood (PA2) is approximately 10.4 acres, and is designated “Highest Density Residential (HHDR).” This neighborhood will be located at the main Project entry (at the intersection of Limonite Avenue and Beach Street). Approximately 2.6 acres are located southerly of PA3 (described below). The remaining 7.8 are located southerly of Limonite Avenue, westerly of the main Project access and easterly of the California/Nevada Joint Apprenticeship Training Committee (JATC) facility. Private recreation facilities will be provided, for the sole use of its residents. It is anticipated that this component of the Specific Plan will have some orientation to the street and will provide linkages to the private and public open space/recreation, pedestrian networks and commercial uses.

Neighborhood Commercial (PA3) is approximately 2.2 acres, and is designated "Commercial Retail (CR)." PA3 has been located at the southeast corner of Limonite Road and the main Project access (Beach Street Entry). PA3 will allow for up to 30,000 square feet of neighborhood commercial retail uses to create a vibrant neighborhood resource with opportunities for shopping, eating, and socialization for residents of the Specific Plan. The commercial component of the Specific Plan will also serve to provide the surrounding community with an opportunity to take advantage of the gathering spaces, restaurants, and retail services.

The Rural Neighborhood (PA4) is approximately 4.4 acres, and is designated "Low Density Residential (LDR)." PA4 is located in the northwesterly corner of the Specific Plan, westerly of the JATC Training Facility, easterly of the Pyrite Wash, on the south side of Limonite Avenue. It is anticipated that ½-acre residential lots, with potential for horse keeping, will be developed in PA4. PA4 has been located in this portion of the Specific Plan, in an effort to provide a transition to the existing, surrounding residential development, as well as access to the open space for equestrian users.

The Village Neighborhood (PA5) is approximately 34.6 acres, and is designated "Medium High Density Residential (MHDR)." PA5 is located internal to the Specific Plan, and flanks the southerly extension of the main Project access road. The two (2) main east-west trending Project Streets also frame PA5 (see Figure II-1, *Vehicular Circulation Plan*).

One of three distinguishing features of the Specific Plan is a six (6) acre private Recreational Concourse provided within the Village Neighborhood that traverses the northern portion and is bordered by Street "A". The Recreational Concourse can be accessed by vehicles along these streets; however, only on-street parking is provided for the Recreational Concourse. Because of its central location within the Specific Plan, it is intended that pedestrian access is the primary form of access to and from area. It is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and pathway to PA6 and the Santa Ana River.

The Greenbelt, Open Space, Recreation (PA6), area totals approximately 18.2 acres. PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa

Ana River is only permitted as part of payment if green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River.

Distinguishing features are the proposed equestrian trails and uses. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility is anticipated in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project's easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6.

Specific information on each of the planning areas within the Specific Plan is provided in Table II-1, *Detailed Land Use Summary*. The land uses within the community are as follows:

a. Residential

Residential planning areas account for 70.9 acres of the Specific Plan Land Use Plan and provide for 650 dwelling units at a net target residential density of 6.06 dwelling units per acre. Planning areas are defined as neighborhoods and are discussed in greater detail in Section IV, *Planning Area Development Standards*. In conformance with Project goals, a variety of housing styles, sizes, and values are included, appealing to a range of future residents. The Specific Plan Land Use Plan provides a variety of residential land use densities and allows for varying housing opportunities as described below. These are the recommended housing opportunities; however, the Director of Planning may allow for other housing opportunities not listed below that will create the desired aesthetic of the Specific Plan.

The densities identified as "Target Densities" in Table II-1, Land Use Summary, may be allowed to vary and be transferred from one residential planning area to another, provided the overall number of units in the overall Project does not exceed 650 units.

Table II-1
Detailed Land Use Summary

PA	Land Use	Acres	Target Density du/ac	Target Dwelling Units	Units Permitted by General Plan Range
1	Medium Density Residential (PA1)	21.5	2-5	96	44-110
2	Highest Density Residential (PA2)	10.4	20+	300	146-312
3	Commercial Retail (PA3)	2.2	--	--	N/A
4	Low Density Residential (PA4)	4.4	0-2	6	0-10
5	Medium High Density Residential (PA5)	34.6	5-8	248	173-277
6	Open Space – Recreation (Open Space Park) (PA6)	18.2	--	--	N/A
--	Open Space – Recreation (Private) ¹	--	--	--	N/A
--	Circulation	15.9	--	--	N/A
Project Totals		107.2	6.06	650	362-709

¹ Six (6) acres included in PA5 – Medium High Density Residential acreage.

- Low Density Residential (0-2 du/ac):** A total target of 6 Low Density Residential dwelling units are planned on 4.4 acres of land at an average density of 0.4 dwelling units per acre in Rural Neighborhood (PA4). This density range provides for single-family detached residences. Home types within this residential density range may consist of, but not be limited to, dwelling units such as:

 - Single-Family Detached: Traditional – Large Lot.
- Medium Density Residential (2-5 du/ac):** A total target of 96 Medium Density Residential dwelling units are planned on 21.5 acres of land at an average density of 4.4 dwelling units per acre in Traditional Neighborhood (PA1). This density range provides for single-family detached and multi-family attached residences. Home types within this residential density range may consist of, but not be limited to, dwelling units such as:

- Single-Family Detached: Traditional;
 - Single-Family Detached: Paired;
 - Single-Family Detached: Narrow/Deep; and
 - Multi-Family Attached: Duplex /Triplex.
-
- **Medium High Density Residential (5-8 du/ac):** A total target of 248 Medium High Density Residential dwelling units are planned on 34.6 acres of land at an average target density of 7.2 dwelling units per acre in Village Neighborhood (PA5). This density range provides for single-family detached and multi-family attached residences. Home types within this residential density range may consist of, but not be limited to, dwelling units such as:
 - Single-Family Detached: Traditional;
 - Single-Family Detached: Paired;
 - Single-Family Detached: Narrow/Deep;
 - Single-Family Detached: Cluster (Garden Court or Motor Court); and
 - Multi-Family Attached: Duplex /Triplex.
-
- **Highest Density Residential (20+ du/ac):** A total target of 300 Very High Density Residential dwelling units are planned on 10.4 acres in Multi-family Neighborhood (PA2). Home types within this residential density range may consist of, but not be limited to, dwelling units such as:
 - Single-Family Detached: Cluster (Garden Court or Motor Court);
 - Multi-Family Attached: Townhomes;
 - Multi-Family Attached: Courtyards; and
 - Multi-Family Attached: Stacked Flats and Live/Work

b. Commercial Retail Area

A total of up to 30,000 square feet of commercial retail land uses will be permitted on approximately 2.2 acre in Neighborhood Commercial (PA3). Neighborhood level commercial uses such as restaurants, small boutique shops, and local vendors are oriented toward pedestrians

walking along internal neighborhood streets to encourage browsing. Uses may also include Live/Work and Residential over Retail.

c. Open Space – Recreation

The northern portion of PA5 contains an approximate six (6) acre private recreation area, referred to as the “Recreational Concourse.” It is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and pathway to PA6 and the Santa Ana River. PA5 has been centralized within the Specific Plan in an effort to concentrate residential densities within the Project, allowing transitions from lower densities on the Project perimeter (reference discussion for PA’s 1 and 4, above).

Greenbelt, Open Space, Recreation (PA6) is approximately 18.2 acres, and is designated Open Space (OS). PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa Ana River is only permitted as part of payment of green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility is anticipated in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project’s easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6.

Overall, there are approximately 24.2 acres (or 22.6% of the Project site) of public and private park/open space areas in the Specific Plan (this does not include any potential private open space uses to be located in PA2).

Detailed descriptions of parks, trails, multi-purpose community corridors/buffers, and open space are provided in Section IV, *Planning Area Development Standards*, and Section V, *Design Guidelines*.

2. Project Wide Land Use Development Standards

To ensure the orderly and sensitive development of land uses proposed for the Specific Plan, development standards have been prepared for each planning area, which will assist in efficiently implementing the proposed development. In addition to these specific standards, Project-wide development standards also have been prepared to complement the diverse conditions within each planning area. Subsequent Neighborhood Development Plans will be subject to City review and approval. These general standards are as follows:

1. The Specific Plan shall be developed with a maximum of 650 dwelling units on 107.2 acres, as illustrated on Figure I-1, *Specific Plan Land Use Plan*. General uses permitted include residential, open space, recreation, and commercial retail as provided for in the Land Use Plan and in the individual Planning Area figures (Figures IV-1 through IV-6). A target number of dwelling units is specified for each residential planning area.
2. Uses and development standards are in accordance the Specific Plan Zoning Ordinance. Uses and development standards are also defined by Specific Plan objectives; the Specific Plan design guidelines; and future detailed development proposals including subdivisions, Site Development Permits, and/or conditional use permits.
3. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, the Specific Plan shall provide adequate areas for collection and loading recyclable materials.
4. Standards regarding signage, landscaping, and other related design elements will conform to the City's Sign Ordinance and the Specific Plan. When appropriate and necessary to meet the goals of the Specific Plan, the standards contained within this document will exceed or supersede the City's Sign Ordinance requirements.
5. Development of the property shall be in accordance with the mandatory requirements of all City's Zoning and Subdivision Ordinances. The Specific Plan conforms to State laws.

6. No portion of the Specific Plan, which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.
7. Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - A permanent master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, common slopes, water quality basins, the recreation center, and landscaped areas.
 - Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization concurrent with the approval of an implementing development or a conveyance subdivision is recorded.
 - The maintenance organization shall be established prior to, or concurrent with, approval of the first tract map or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
8. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the City of Jurupa Valley Planning Department verifying that all pertinent conditions of Specific Plan approval and the subsequent Neighborhood Development Plan have been satisfied for the phase of development in question.
9. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, Site Development Permit, specific plan amendment, or any land use application required to implement the Specific Plan. If it is determined that said proposal is determined to be consistent with the Specific Plan EIR, there is the potential that no additional environmental documentation may be required. The CEQA review shall be prepared as part of the review process for these implementing projects.
10. Lots created pursuant to any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property and the subsequent Neighborhood Development Plan.

11. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and pedestrian) as part of the subsequent Neighborhood Development Plan.
12. If necessary, roadways, infrastructure, and facilities may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance, and management.
13. Final development densities for each planning area shall be determined through the appropriate development application up to the maximum dwelling units identified in the Specific Plan, based upon, but not limited to, the following:
 - a) Adequate availability of services;
 - b) Adequate access and circulation;
 - c) Innovation in building types and design;
 - d) Sensitivity to landforms;
 - e) Sensitivity to neighborhood design through lot and street layouts; and,
 - f) The density range permitted by the designation.Anything over the range will require a Specific Plan Amendment.
14. Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
15. Designation, dedication and/or payment of fees for parkland/open space will be based on the final number of dwelling units and corresponding population generated by each pertinent tract within the Specific Plan (as adopted by the City of Jurupa Valley City Council, unless otherwise amended) and will satisfy both City and State requirements for parkland. The acreage is set forth on Figure II-8, *Open Space and Recreation Plan*, Table II-2, *Open Space and Recreation Land Use Summary*, and Table II-3, *AB1600 Required Parkland*.

16. Prior to the issuance of building permits, improvement and irrigation plans for adjacent common areas shall be submitted for Planning Department approval. Irrigation plans shall be certified by a landscape architect.
17. Landscaping within the community shall conform to the Design Guidelines contained in Section V of the Specific Plan and be drought-tolerant, water-efficient, and conform to the regulations set forth in City's Water-Efficient Landscaping Requirements.
18. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
 - Circulation for pedestrians, vehicles, trash trucks, fire trucks and police patrols.
 - Lighting of streets and walkways.
 - Visibility of doors and windows from the street and between buildings, where practical.
 - Fencing heights and materials which are the developer's responsibility.
19. The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:
 - Addresses which light automatically at night.
 - Special lighting requirements or kiosk signage for any buildings that are grouped in such a way that individual addresses are difficult to read.
 - Front doors into residences that front toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel, where practical.
20. Development within the community shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.
21. Construction of certain public facilities and infrastructure requirements (such as water lines, roadways, etc.), as well as payment of City fees, may be financed through an assessment district (AD) or a community facilities district (CFD).
22. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of the City's Subdivision and Fire Code Standards Ordinances, subject to approval by the City Fire Department. Fire flows over 3,000 gallons per minute (gpm) shall be for three (3) hours duration.

23. Drainages on site shall be conserved either within an open space easement on individual residential lots, or by placing these drainage areas within a separate parcel to be maintained by the Master Homeowners' Association or County Flood Control District. The mechanism and requirements for preserving blue line streams and other natural drainage courses on the community shall be as determined by the result of the permitting processes required by Section 404 of the Clean Water Act and/or Section 1603 of the California Fish and Game Code.

24. Prior to the approval of any subdivision map, or implementing project, a Neighborhood Development Plan (as set forth in Section III of this Specific Plan), shall be submitted to the Planning Department and approved by the Planning Commission.

B. Circulation Plan

1. Vehicular Circulation Plan

a. Description

A roadway concept has been developed for the Specific Plan, as illustrated on Figure II-1, *Vehicular Circulation Plan*. The primary objective of the Circulation Plan is to meet the vehicular travel needs of the Specific Plan by providing direct and convenient access to individual planning areas through a safe and efficient network of roadways. Specific Plan roadways (including r-o-w's) shall be designed to the satisfaction of the City Engineer.

The Specific Plan will take its primary access off of Limonite Avenue. The main Project entry (Beach Street Entry) shall align with the current intersection of Limonite Avenue and Beach Street. It is anticipated that this access point will be signalized and allow full-turning movements. "A" Street is the northernmost east-west trending street. "B" Street is the southernmost east-west trending street and, located in Greenbelt, Open Space, Recreation (PA6). Beach Street, South of "A" Street will continue to "B" Street, in PA6. Existing trees will be preserved to the greatest extent possible. New street trees shall be planted in accordance with the Specific Plan, as well as at the time any unhealthy trees are removed.

Three (3) access points are proposed on the easterly portion of the Specific Plan at Downey Street. Two (2) will be off of the existing Downey Street, and one will be off of the southerly extension of Downey Street. This roadway will be constructed off-site of the Paradise Knolls property, on the adjacent property to the east (currently owned by the County of Riverside). The intersection of Limonite Avenue and Downey Street is currently signalized.

All other Circulation Plan streets will provide circulation throughout the Specific Plan, into the various Planning Areas, and the Project open space via a network of Local Streets. Local Streets are anticipated to have a 56' right-of-way. Five-foot (5') wide sidewalks will be separated from the street by landscaped parkways.

Additional streets, classified as local private streets, will be contained within the Specific Plan, and will be determined at tentative map or Site Development Permit phase of development.

The vehicular circulation plan includes several roadway sizes and classifications as described below, illustrated in Figure II-2, *Roadway Cross-Sections*.

Project Roadways: The following roadways will be constructed by the Master Developer. Funding will be the developer's responsibility with the exception of Limonite Avenue which may have the Transportation Uniform Mitigation Fee offset. Specific Plan roadways (including r-o-w's) shall be designed to the satisfaction of the City Engineer.

- **Limonite Avenue (129'-133' ROW):** Limonite Avenue creates the Projects northern boundary. This roadway provides east/west access and creates the Specific Plan's northern boundary. Limonite Avenue will have a varying public right-of-way (ROW) of one hundred twenty-nine feet (129') to one hundred thirty-three feet (133') with seventy-four feet (74') of pavement, exclusive of a fourteen-foot (14') wide curbed, landscaped, and irrigated center median, a minimum forty-foot (40') wide parkway on the Project side (south side of Limonite Avenue), and fifteen-foot (15') on the existing north side of Limonite Avenue.
- **Beach Street Entry (98' ROW):** Beach Street Entry is located adjacent to PA's 2 and 3, south of Limonite Avenue. Beach Street Entry will have a maximum public ROW of ninety-eight feet (98'), with sixty-four feet (64') of pavement, a fourteen-foot (14') wide median, and a ten-foot (10') wide parkway on both sides of the street. It is anticipated that a 5' wide, curb separated sidewalk will be located within landscaped parkways.
- **Downey Street (65' ROW):** Downey Street is an existing roadway that trends north-south and forms the eastern boundary of the Specific Plan. Downey Street will have a maximum public ROW of sixty-five feet (65'), with thirty-four feet (34') of pavement, a twenty-five foot (25') wide parkway on the Specific Plan side (includes a 10' equestrian trail), and a six foot (6') wide parkway on the easterly side of the street.

and a ten-foot (10') wide parkway on both sides of the street. It is anticipated that a 5' wide, curb separated sidewalk will be located within landscaped parkways (with the exception when "A" Street abuts the Community Concourse, where there is no sidewalk on the south side of "A" Street").

- "B" Street (60' ROW): "B" Street is an east-west trending street which connects Downey Street in the east to "A" Street in the western portion of Specific Plan. "B" Street will have a maximum public ROW of sixty feet (60'), with forty feet (40') of pavement, and a ten foot (10') wide landscaped parkway on both sides of the street. It is anticipated that on-street parking will be allowed on the PA6 side of "B" Street. In addition, a 5' wide, curb adjacent sidewalk will be located on south side of "B" Street.
- Beach Street, South of "A" Street (56' ROW): Beach Street, South of "A" Street bifurcates PA5 and will have a maximum public ROW of fifty-six feet (56'), with thirty-six feet (36') of pavement, an eight-foot (8') wide median, and a ten-foot (10') wide parkway on both sides of the street. It is anticipated that a 5' wide, curb separated sidewalk will be located within landscaped parkways. No on-street parking shall be permitted.
- Local Streets (56' ROW): These streets are located within the individual planning areas, but are not part of the circulation network as depicted on Figure II-1, *Vehicular Circulation Map*. These streets have a maximum public ROW of fifty-six feet (56'), with thirty-six feet (36') of pavement, and a ten-foot (10') wide parkway on both sides of the street. It is anticipated that a 5' wide, curb separated sidewalk will be located within the 10' parkways.
- Cul-de-sacs (56' ROW): Cul-de-sacs, as designed within the Project, will have a maximum public ROW of fifty-six feet (56'), with thirty-six feet (36') of pavement, and a ten-foot (10') wide landscaped parkway on both sides of the street.
- Private Street (24' to 30' ROW): Private Streets consist of a 24-foot to 30-foot ROW and may be used to provide access to garages.

Improved Off-site Roadways: The Master Developer will contribute to the construction of the following roadways through the Transportation Uniform Mitigation Fee (TUMF), Community Facility District (CFD) financing and Development Impact Fee (DIF) programs:

- Limonite Avenue

b. Vehicular Circulation Development Standards

1. The Specific Plan Circulation Plan provides a traffic design that meets the needs of the community. Roadway improvements, depicted on Figure II-1, *Vehicular Circulation Plan*, will be constructed in accordance with the conceptual phasing plan depicted in Figure II-10, *Conceptual Phasing Plan*.
2. Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section V, *Design Guidelines*. Street trees should be planted approximately 30 to 40 feet apart – sometimes in uneven, naturalistic patterns – to provide canopy to shade the yards and street at maturity.
3. All roads within the Specific Plan boundary shall be constructed to appropriate City full- or half-width standards in accordance with the City's Subdivision as a requirement of the implementing subdivisions for the Specific Plan, and subject to final design approval by the City Engineer.
4. The street network should be connected with walkable blocks – between 400 and 600 feet long. The maximum block perimeter should be 1,600 feet. Larger blocks or dead-end streets may be considered when natural elements warrant compromise.
5. Neighborhoods should be designed with at least one through street every 800 feet, unless any natural elements warrant compromise. Considerations warranting such compromise do not include increasing the number of lots or reducing the connectivity within a neighborhood or adjoining neighborhoods.
6. Short blocks of grid style streets are encouraged, as opposed to meandering style streets with cul-de-sacs.

7. Residential streets should be as narrow as practical to encourage slow, safe driving speeds with curbside parking on both sides when deemed safe by the City Engineer. Recommended curb-to-curb dimensions range from 34 feet to 36 feet depending on expected traffic volumes, or to the satisfaction of the City Engineer.
8. The Specific Plan shall comply with the conditions and requirements set forth by the City Engineer.
9. Any implementing application for any subdivision within the Specific Plan boundary shall cause the design and construction of the Specific Plan's master-planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
10. All typical sections shall be per the Specific Plan, or as approved by the Engineering Department.
11. All intersection spacing and/or access openings shall be as approved by the Engineering Department. Determination of public or private streets designation will be accomplished at either the tentative tract map, Site Development Permit, or Conditional Use Permit, or a combination thereof.
12. No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Engineering Department standard access spacing, depending upon the street's classification.
13. Circulation facilities will be maintained by the City of Jurupa Valley, or by a private maintenance organization.
14. Any landscaping within public road rights-of-way will require approval by the Engineering Department and the Planning Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism.
15. No textured pavement accents will be allowed within City right-of-way. Striping will be used at pedestrian crossings to create contrast and enhance safety.

16. No tract entry monuments or identification signs shall be permitted in the public right-of-way.
17. No cul-de-sac streets shorter than 150 feet measured to the center of the bulb are permitted. Also, no cul-de-sac streets longer than 1,320 feet measured to the center of the bulb are permitted.
18. Transit support facilities (including bus turnouts, signage, benches, shelters, etc.) shall be along arterial streets and local transit service routes, as required by the Riverside Transit Agency (RTA).
19. Appropriate geometrics shall be provided for horse boarding/loading/unloading to accommodate trucks and trailers coming onto the site. If necessary, streets shall be posted for restriction to size and/or weight.

2. Non-Vehicular Circulation Plan

a. Description

As illustrated on Figure II-3, *Non-Vehicular Circulation Plan*, a comprehensive trail system is planned within the Specific Plan and connects all residential neighborhoods to the parks, recreational areas, commercial retail, as well as off-site existing and proposed trails. The Specific Plan will provide sidewalks, pedestrian and equestrian trails for the both the Project's residents and the surrounding community.

The variety of trails offered within the Specific Plan is intended to facilitate high levels of activity and provide for a healthy and accessible community for both the pedestrian and the equestrian. Sidewalks are provided along roadways and connect to the Open Space Trail, located in the private Recreational Concourse. Sidewalks consist of hard surface trail material or concrete surfaces for pedestrian use. The Open Space Trail and the Equestrian Trail will consist of four inches (4") compacted decomposed Granite (D.G.). Trails are discussed in greater detail in Section V, *Design Guidelines*.

The non-vehicular circulation plan includes two trail sizes and classifications as described below, illustrated in Figure II-4, *Trail Cross-Sections*.

- **Equestrian Trail - (10 feet):** The Equestrian Trail will be ten feet (10') wide, framed by a rail fence, and will consist of four inches (4") of compacted decomposed Granite (D.G.). This trail connects to the east-west trending trail on the north side of Limonite Avenue (off-site). On-site, this trail is proposed on the eastern boundary of PA5, along Downey Street. This trail runs the entire length of Downey Street, along the eastern boundaries of PA1 and PA5 and along PA6 to the south. This trail will connect to anticipated equestrian uses located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. All intersections, that are designated as official crossings on the City's Trail Plan shall be designed to accommodate staging of horses waiting to cross streets where there are traffic signals. This trail may also be used by pedestrians.

- **Open Space Trail – (8 feet):** The Open Space Trail will be eight feet (8') wide, framed by redwood headers, and will consist of four inches (4") of compacted decomposed Granite (D.G.). This trail trends east-west within the Recreational Concourse.

- **Sidewalks (5 feet):** Sidewalks run alongside community roadways and through open space tracts, providing pedestrian access to all neighborhoods within the community. Sidewalks are five feet in width and are generally curb separated on major circulation roadways and Local Streets within the Specific Plan. Sidewalks (minimum of five-feet (5') wide), will be provided on both sides of streets, (with the exception of "A" Street, at the Concourse; whereby, the sidewalk is internal to the Concourse, or "B" Street, where the sidewalk is curb adjacent within PA6), and separated from the curb by a parkway strip (minimum three-feet (3') wide).

- **Bicycle Routes and Travel:** Bicycle riding will be permitted on the local streets, as well as the Open Space Trail. Bike lanes along exterior streets (Limonite Avenue and Downey Street) shall be located off-road, wherever possible, subject to final design approval by the City Engineer.

b. Non-Vehicular Circulation Development Standards

1. All trails provided as a part of the Trails System Plan shall be developed pursuant to the Design Guidelines contained in Section V, *Design Guidelines*.

2. All sidewalks shall be developed pursuant to Figure II-3, *Non-Vehicular Circulation Plan*.

3. Trails shall be reviewed and approved by the City of Jurupa Valley.

4. Connections from trails to sidewalks shall be provided where feasible to promote pedestrian connectivity in the community.

5. At grade crossing standards shall include trail markers (reference Figure V-19, *Conceptual Landscape Plan*, and Figure V-24, *Open Space/Trail Monumentation*) and light bollards (reference Figure V-47, *Trail Lighting Fixtures*).

6. All intersections, that are designated as official crossings on the City's Trail Plan shall be designed to accommodate staging of horses waiting to cross streets where there are traffic signals.

C. Drainage Plan**1. Description**

The Specific Plan has been designed to conform to current Riverside County Drainage Requirements and Design Standards. The Project is attempting to capitalize on the terrain of the site for views, natural open space, and constructed green space. These areas are being designed to incorporate the drainage requirements. Open spaces adjacent to drainage areas will provide for additional passive open space, giving the feel of additional room, that doubles functionally to treat Project runoff. The Project will provide a system of basins, storm drain, filtration ponds, detention basins, and filter grates to store, clean, and discharge Project runoff in a safe and mitigated way. All drainage trends from the north to the south. One (1) existing catch basin is located in the northeastern corner of the site. There are four (4) proposed storm drains that trend north to south. There is one (1) east-west trending storm drain in "B" Street that these four (4) facilities tie into. This east-west trending storm drain will outlet at two points. One is located at the westerly portion of the site in Greenbelt, Open Space, Recreation (PA6). One is located on the easterly portion of the site in PA6. A third facility is more centrally located and will outlet into the Santa Ana River, south of the existing levee.

The Project's discharge point is the Santa Ana River, which is under the jurisdiction of the Army Corps of Engineers. The River is under considerable study by the Army Corps and the Flood Control District. The Project will propose improvements to the river edge to remove any threat of flooding. These improvements will be consistent with these studies and will ultimately lead to a revision to the FEMA FIRM Map.

Refer to Figures II-5a and 5b, *Master Drainage Plan* for general information on the proposed drainage facilities, and the Project drainage report for detail and design calculations.

2. Drainage Development Standards

1. All drainage facilities will be designed and constructed in accordance with the Riverside County Flood Control and Water Conservation District (RCFC&WCD) standards and specifications.

2. Regional drainage facilities will be subject to the review and approval of RCFC&WCD. Local facilities will be approved by the City Engineer.
3. Jurupa Community Services District (JCSD) will review the design of drainage facilities in conjunction with their review of the sewer and water facilities to ensure that there are no design conflicts between the proposed utilities.
4. The capital cost of all on-site facilities will be the responsibility of the applicant. Such facilities will be dedicated to RCFC&WCD, a Homeowners Association (if private system), or County Service Area for maintenance and operations.
5. All areas within the Specific Plan area will be required to prepare a Water Quality Management Plan (WQMP) and a Storm Water Pollutant Prevention Plan (SWPPP) in accordance with the requirements of the National Pollutant Discharge Elimination System (NPDES) standards. A master WQMP shall be developed for the Specific Plan and neighborhoods will connect to, and modify as necessary, during buildout. WQMP's and BMP's should be placed as close to the source as possible.
6. All projects proposing construction activities including: clearing, grading, excavation that results in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but not be limited to: on-site detention; water quality basins; covered storage of all outside facilities; vegetated swales; monitoring programs; etc.

D. Master Water Plan**1. Description****a. Potable Water**

In order to serve the Specific Plan, on-site Project infrastructure will be required and will need to be sufficiently sized to accommodate the needs of the community. There is an existing 12" water line, and an existing 8" water line located in Limonite Avenue and Downey Street, respectively. The Specific Plan will tie into both of these lines. Refer to Figure II-6, *Potable Water Plan*.

b. Reclaimed Water

Based on recent discussions with Jurupa Community Services District (JCSD) there are no connections currently available for reclaimed water in the area. If and when reclaimed water becomes available all efforts will be made to use recycled water where feasible.

2. Potable Water Development Standards

1. All water facilities will be designed and constructed in accordance with Jurupa Community Services District (JCSD) standards and specifications.
2. Potable and recycled water facilities constructed to serve the community will be dedicated to JCSD for ownership, maintenance and operation.
3. The capital costs for the onsite facilities to serve the community will be the responsibility of the developer. Onsite facilities will be built with the construction phases of the planning areas.
4. Public water facilities will be located to meet JCSD and City of Jurupa Valley's standards.

E. Master Sewer Plan**1. Description**

Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the community. There is an existing 36" sewer line, and 8" sewer line located in Limonite Avenue and Downey Street, respectively. The Project will tie into the 36" sewer line in Limonite Avenue. A lift station and force main may be necessary at the lower edge of the Specific Plan, due to grade considerations. The lift station will force sewer to the 36" main in Limonite Avenue. There is an existing east-west trending sewer force main that bisects the Specific Plan. Refer to Figure II-7, *Master Sewer Plan*. Due to the age of the force main, care will be taken to protect the line. It will not be available for Project flows.

2. Master Sewer Plan Development Standards

1. All sewer facilities will be designed and constructed in accordance Jurupa Community Services Department (JCSD) standards and specifications.
2. Facilities constructed to serve the community will be dedicated to JCSD for ownership, maintenance and operation.
3. The capital costs for both onsite and offsite facilities to serve the community will be the responsibility of the developer.
4. Sewer facilities will be located to meet JCSD and City of Jurupa Valley's standards.
5. Sewer facilities will conform to the State of California Department of Public Health and the local Utility Purveyor's standards.
6. The recently constructed sewer main in Limonite Avenue will be the primary connection for the Specific Plan.

F. Open Space and Recreation Plan**1. Description**

The Paradise Knolls Specific Plan includes parks that are integrated into neighborhoods. As shown in Figure II-8, *Open Space and Recreation Plan*, the Specific plan provides for a variety of private and public recreational opportunities that connect the community both physically and thematically. As summarized in Table II-2, *Open Space and Recreation Land Use Summary*, a total of 18.2 acres are dedicated to open space and recreational uses. This table does not include any potential private recreational facilities that may be located in Multi-Family Neighborhood (PA2) or Village Neighborhood (PA5). Park types may include, but not be limited to: mini-parks, pocket parks, tot-lots plazas/greens, linear parks, special use parks, greenways, nature trails, and equestrian trails and centers.

a. Public Park

Greenbelt, Open Space, Recreation (PA6) is approximately 18.2 acres, and is designated Open Space (OS). PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa Ana River is only permitted as part of payment of green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility is anticipated in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project's easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6.

A complete description of the facilities proposed for the Public Park is included within Section V, *Design Guidelines*.

b. Recreational Concourse

The northern portion of Village Neighborhood (PA5) contains an approximate six (6) acre private recreation area, referred to as the “Recreational Concourse.” It is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and pathway to PA6 and the Santa Ana River. Additional facilities are encouraged beyond the previous list of required items in this park. According to the JARPD, no park credit is provided for this private facility.

c. Private Recreation Center

A private recreation center will be located in Multi-Family Neighborhood (PA2) and will serve the residents of the multi-family development within this PA. The private recreation center may contain the following amenities: private recreation center building, pool complex, active and passive play areas, parking areas and picnic facilities. According to the JARPD, no park credit is provided for this private facility.

**Table II-2
Public Open Space and Recreation Land Use Summary**

Planning Area	Land Use	Acreage
PA 6	Open Space – Recreation (Public Park)	18.2
TOTAL		18.2

The Specific Plan provides for 650 dwelling units and will therefore result in a population of approximately 1,958 residents. This is based on the following formulas:

- Condominiums: 2.5 residents/unit x 300 units = 750 residents
- Single-Family Units: 3.45 residents/unit x 350 units = 1,208 residents
- TOTAL: 1,958 residents

Credits toward fulfilling JARPD fees and dedication requirements were determined in accordance with AB 1600.

The following is the formula use to determine the recreational facilities generated by a Project residential population of 1,958 residents, at 5 acres per 1,000 residents:

$$350 \text{ units} \times 3.45 \text{ persons/house} = 1,208 \text{ residents}$$

$$300 \text{ units} \times 2.5 \text{ persons/house} = 750 \text{ residents}$$

$$(1,958/1000) \times 5 = 12.3 \text{ acres}$$

As a general planning “rule of thumb,” a project should provide approximately five acres of park and recreational area per 1,000 persons. With a forecast population of 1,958 persons, total acreage of park and recreation area should encompass approximately 12.3 acres. Therefore, the community is required to provide 12.3 acres of parkland as depicted below in Table II-3, *AB 1600 Required Parkland*.

**Table II-3
AB 1600 Required Parkland**

Type	DUs	Average Household Size	Population	Assessment Factor (acre/resident)	Required Acres
Single-Family Units	350	3.45	1,208	5/1,000	8.54
Multi-family Units (Condominium)	300	2.5	750	5/1,000	3.75
Totals:	650		1,958		12.3

A total of approximately 18.2 acres of public park area will be implemented in conjunction with the Project.

Detailed elements and acreage of the specific open space and recreation amenities provided within the Specific Plan are described below.

A complete description of the facilities proposed for the Open Space Recreation Area is included within Section V, *Design Guidelines*.

2. Open Space and Recreation Plan Development Standards

1. Where appropriate, conservation easements will be required during the Tentative Map process to preserve natural drainages.
2. Developer will pay fees pursuant to the AB1600. In lieu of paying fees, developer is encouraged to obtain credit for providing land and/or improvements for recreational facilities.
3. All primary recreation facilities within PA's 5 and 6 shall be constructed by the Master Developer or the responsible public agency. The builder shall construct private recreation areas within PA2. All funding shall be the responsibility of the developer, unless other arrangements have been made between the City and the developer.
4. All on-site recreation amenities shall be maintained by the appropriate entity, as identified in Table II-5, *Maintenance Plan Summary*.
5. All recreational facilities within the community shall be drought-tolerant, water-efficient, and conform to the regulations set forth in the City's Subdivision Ordinance.
6. Landscaping within recreation and open space areas will be further governed by Section V, *Design Guidelines* of the Specific Plan.
7. All tot lots shall include architectural or mechanical shade structures that will shade all play equipment for the majority of the day.
8. Subsequent Neighborhood Development Plans should include parks that are approximately a one-quarter (1/4) mile walking distance of at least 50 percent of the dwelling units. Park types may include, but are not be limited to: mini-parks, pocket parks, tot-lots plazas/greens, linear parks, special use parks, greenways, nature trails, and equestrian trails and centers.

G. Grading Plan

1. Description

Topography on the site is characteristic of a golf course with gentle rolling hills. Most of the site has been designed with long linear fairways trending in an east-to-west direction. Fairways in the northeast end of the golf course were laid out in a north-to south direction. Elevation ranges from a high of 700 feet along the north property line to a low of 640 feet in the southwest corner of the site. Most of the golf course is situated between 690 and 650 feet in elevation over a distance of approximately 1,300 feet through the center of the site in a north-to-south direction. There are no natural irregularities like prominent hills, steep slopes or rock outcrops on the golf course. A levee was constructed along the southern portion of the site that coincides with the north bank of the Santa Ana River. It is elevated approximately 10 feet above the golf course. It consists of approximately 670 feet of rip rap covered by wire mesh in the southeast corner of the site that transitions into a raised earthen berm for approximately 2,730 feet to the southwest corner. The proposed grading plan attempts to match the terrain of the property while at the same time providing roads that are as flat as possible given the site constraints. The proposed Project elevations will range from between 655 and 700msl. Proposed street slopes will vary between 0.5% and 6.0%.

As designed, it is anticipated that the site will result in 500,000 cubic yards of cut and 500,000 cubic yards of fill, resulting in a balanced site. The Project will be constructed per the recommendation of the soils engineer. At time of final design great care will be given to design of cut and fill slopes and areas where utilities may be located.

With the exception of two (2) drainage outlet structures, the southerly portions of the site are to remain undisturbed. In order to accept drainage into the site, there will be control structures what will require grading to route and control the runoff. The existing levee will require an engineering analysis to demonstrate adequacy and recommend modifications, if necessary. There is one main north-south trending systems of drainage and two east-west trending systems that will outlet to two concentration points, one at the westerly and one at the southern property line. Basins will be provided for detention volume and water quality. Refer to Figure II-9, *Conceptual Grading Plan* for detail on the proposed grading plan.

The existing levee will remain in place; however, a new levee will be constructed north of it along "B" Street. The levee will be approximately ten- to fifteen-feet (10'-15') high, and will provide flood protection to the Specific Plan.

2. Grading Plan Development Standards

All grading activities shall conform to City of Jurupa Valley Standards and shall meet the requirements of the California Building Code, the City General Plan, and all other laws, rules and regulations governing grading in the City of Jurupa Valley.

1. Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include preliminary pad and roadway elevations.
2. All grading-related mitigation measures outlined in the Project EIR shall be implemented in accordance with City ordinances or regulations in place at the time of the site development.
3. Unless otherwise approved by City of Jurupa Valley, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot.
4. A grading permit shall be obtained from City of Jurupa Valley, prior to grading.
5. Soil stabilizers should be used to control dust as required by SCAQMD, Rule 403.
6. Erosion control practices shall be implemented during grading activities.
7. The grading contractor shall be required to obtain an encroachment permit from Riverside County Flood Control and Water Conservation District (RCFC&WCD) prior to entering any right-of-ways, which belong to RCFC&WCD.

8. All National Pollutant Discharge Elimination System (NPDES) stormwater and water quality regulations in place at the time of site development shall be implemented.

9. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least one acre of total land area, or activity which is part of a larger common plan of development of one acre or greater shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within specific plan boundaries shall be subject to future requirements adopted by the County/City to implement the NPDES program.

H. Community Phasing Plan

1. Description

The Specific Plan has been designed for development in 3 phases over an approximate 5-year period beginning in 2015 in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure as depicted in Figure II-10, *Conceptual Phasing Plan*.

Below is a description of the land uses and facilities proposed for construction under each phase. A statistical summary of the community's phasing plan is provided in Table II-4, *Community Phasing Plan*.

Phase 1

Phase 1 will consist of infrastructure improvements necessary to serve Traditional Neighborhood (PA1) and Rural Neighborhood (PA4). Full-width street improvements to "A" Street and Beach Street Entry will be constructed. This will provide two points of access. Limonite Avenue half-width street improvements will be made along the PA1 frontage. Downey Street half-width improvements will be made along the PA1 frontage. In addition, local streets will be constructed to serve the lots constructed in this Phase. All recreational facilities and equestrian facilities will be constructed in Greenbelt, Open Space, Recreation (PA6). Beach Street, between "A" Street and Limonite Avenue will be constructed to full-width. Off-site equestrian facilities will be constructed. Water and sewer infrastructure will be constructed to serve the homes, with a sewer lift station built to serve the entire property at the southeast corner of the Specific Plan. Storm drain improvements will also be provided to ensure that the post development runoff does not exceed existing runoff. Permanent and temporary flood control facilities will be built.

Phase 2

Phase 2 will consist of development of Multi-Family Neighborhood (PA2) and Neighborhood Commercial (PA3). The remaining half-width street improvements will be made to Beach Street Entry. Limonite Avenue half-width street improvements will be made along this the PA 2, 3, and 4

frontages. In addition, local streets will be constructed to serve the lots constructed in this Phase. Water and sewer infrastructure will be constructed to serve the homes. Storm drain improvements will also be provided to ensure that the post development runoff does not exceed existing runoff. Permanent and temporary flood control facilities will be built.

Phase 3

Phase 3 will consist of development of Village Neighborhood (PA5) and Greenbelt, Open Space, Recreation (PA6). The remaining half-width street improvements will be made to "A" Street. Full street improvements will be made to Beach Street, South of "A" Street, and "B" Street. Limonite Avenue half-width improvements will be made along this the PA 2, 3, and 4 frontages. Downey Street full improvements will be made along the PA5 frontage. In addition, local streets will be constructed to serve the lots constructed in this Phase. The Recreational Concourse will be constructed. Water and sewer infrastructure will be constructed to serve the homes. Storm drain improvements will also be provided to ensure that the post development runoff does not exceed existing runoff. Permanent flood control facilities will be built.

**Table II-4
Community Phasing Plan**

Land Use	Planning Area	Target Acres	Target Dwelling Units
Phase 1			
Medium Density Residential, Low Density Residential, and Roadways (½ width Limonite Avenue - PA1 frontage, ½ width Downey Street - PA1 frontage, full-width Beach Street Entry, "A" Street, and "A" Street), on- and off-site equestrian trails	1, 4	27.5	102
Phase 2			
Highest Density Residential, and Commercial Retail, and roadways (½ width Limonite Avenue - PA2 and 3 frontages, ½ width Beach Street Entry, and "A" Street)	2, 3	12.9	300
Phase 3			
Medium High Density Residential, Open Space, and Roadways (Streets "Beach Street, South of Street "A", "B" Street), Community Concourse, Open Space	3, 4	23	107

2. Community Phasing Plan Development Standards

1. Prior to any recordation of any final subdivision map, final improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the City Planning Department for approval. The improvement plans shall include:
 - Final Grading Plans;
 - Final Drainage Plans;
 - Irrigation Plans (certified by a landscape architect);
 - Fence Treatment Plans;
 - Special Treatment/Buffer Area Treatment Plans;
 - Walls and Fencing Plan; and,
 - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials).
2. Development of each phase shall include development of internal common open space areas, trails and applicable infrastructure.
3. Construction of the development, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, facilities, and infrastructure are constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of this community's Phasing Program.
4. The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development.

I. Maintenance Plan

Successful operation of maintenance districts and associations are important to maintain quality within a community as large and complex as the Specific Plan. It is anticipated that the City of Jurupa Valley will assume maintenance responsibilities for public roadways. Landscaping and lighting on the public roadways, and water quality basin shall be financed through the formation of a community facilities district and administered by the City. Other common community facilities may be divided among a Master Homeowners' Association, Neighborhood Sub-Associations, and/or similar maintenance mechanisms. Final decisions regarding maintenance entities shall be made at a future stage of community design review and in concert with appropriate agencies. Table II-5, *Maintenance Plan Summary*, summarizes maintenance responsibilities.

**Table II-5
Maintenance Plan Summary**

Facility	Construction	Ownership	Maintenance
Improved Landscape Areas and Amenities			
Medians	D	CFD	CFD
Major Roads	D	CFD	CFD
Local Roads	D/B	CFD	CFD
Open Space and Recreation Area (PA6)	D	CFD	CFD
Private Recreational Concourse (PA5)	D	HOA	HOA
Private Recreation Center (PA2)	D	HOA	HOA
Neighborhood Recreation Area	B	S-HOA	S-HOA
Equestrian Center	D	HOA	HOA
Equestrian Trails	D	CFD	CFD
Street and Other Improvements			
Public Streets, Sidewalks and Landscaping	D/B	CFD	CFD
Water Quality Basins	D/B	CFD	CFD
Private Streets and Sidewalks	B	S-HOA	S-HOA
Project Monumentation	D/B	HOA/S-HOA	HOA/S-HOA
Park/Trail Monumentation	D	CFD	CFD
Community Walls	D	O/HOA	O/HOA
Full View Fencing	D/B	O/HOA	O/HOA
Street Lighting	D/B	CFD	CFD
Mailbox Structures	B	USPS/S-HOA	USPS/S-HOA

B - Merchant Builder; CFD - Community Facilities District; D - Master Developer; HOA - Master Homeowners' Association; JV - City of Jurupa Valley; O - Property Owner; S-HOA - Neighborhood Sub-Association; USPS - United States Postal Service

a. Merchant Builder

The Merchant Builder is responsible for the construction of necessary infrastructure and amenities as directed by the Master Developer.

b. Community Facilities District

A Community Facilities District shall be formed for the maintenance of lighting and landscaping *within the public ROW, as well as various other areas to be maintained.*

c. Master Developer

The Master Developer, or successors in interest, will be responsible for the Planned Development of land, including approval from the City for Neighborhood Development Plans, and infrastructure of the Specific Plan.

d. Master Homeowners' Association

A Master Homeowner's Association is required to maintain parkway areas outside of the right-of-way and slope areas. Common areas identified in the Specific Plan may be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation facilities, open space, private circulation systems, and landscape areas. Areas of responsibility may include open space, Project monumentation, public and private recreation facilities, and landscape areas located along community roadways.

e. Property Owner

Property owners are responsible for maintaining their private lots and structures that do not fall under the Master Homeowners' Association or Neighborhood Sub-Association.

f. City of Jurupa Valley

The City of Jurupa Valley provides oversight to ensure that all conditions of approval are met and ordinances are followed. Various departments of the City are responsible for maintenance of public spaces.

g. Neighborhood Sub-Associations

In certain residential areas of the community, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Neighborhood recreation areas exemplify facilities that may come under the jurisdiction of a neighborhood association.

h. United States Postal Service

The United States Postal Service (USPS) processes and delivers mail to every home and business in the United States. All mailboxes within the Specific Plan must conform with USPS requirements.

J. Energy Efficiency

This section serves to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer. The following practices will ensure compliance with building code requirements and issuances of the necessary permits; however, implementation will substantially contribute to the reduction in environmental impacts associated with air quality, hydrology, water quality, hazards, and utilities.

The following have been selected based on their ease of applicability and implementation during the design and construction phases, their marketability and/or desirability potential to the home buyer, and their cost incentive factor to both the builder and homeowner. It is required that the future developers provide more than just minimum adherence to the standards listed below. Future developers can select from the list shown below or provide alternative energy efficiencies to the satisfaction of the Planning Department.

The design recommendations have been categorized according to the following goals: 1) Maximize Energy Efficiency; 2) Maximize Water Quality and Conservation; and 3) Minimize Landfill Waste.

Goal #1: Maximize Energy Efficiency

During Planning and Construction:

1. Solar heat gain can be better controlled. The east and west sides of the home absorb the majority of solar radiation that is transferred into the home. Therefore, an east-west oriented home would minimize the surface area directly exposed to the sun. The use of mechanical systems would be reduced and result in an overall decrease in energy consumption. Based on plotting, the longest walls of the house should face north and south, to have the shorter walls exposed to the sun. If allowed by the structure orientation, ensure that the roof area of each home has a minimum of 400 sq. ft. within 20-degrees of South to allow for future installation of solar panels by the homeowner.
2. Shading of windows and entrance locations with a combination of structural elements and landscape materials will reduce heat gain and lower the temperature around the house.

Interior shading devices like curtains, blinds, shutters are less effective in this capacity. The overall result is a decrease in energy consumption from the decreased use of mechanical cooling systems. Where practical, windows and entrance locations, primarily on the south and west sides, should be protected and shaded by exterior treatments such as porches, awnings, deep-set windows, trellises and/or trees between May and September.

3. East/West facing windows receive the majority of light and heat and are difficult to shade. East windows are more favorable in that they allow morning sun. West windows receive radiation from hotter afternoon sun increasing heat transfer into the home. By limiting the total area of glass on the east and west sides of the home, solar heat gain can be controlled, thereby, reducing use of mechanical cooling systems and energy consumption. The use of glass should be limited on the east and west building faces. If possible, no more than 25% of total glass area should be located on east and west walls combined.

4. Careful window placement can ensure maximum cross ventilation and the expulsion of hot air from the home. Solar heat gain can be passively controlled, thereby, reducing use of mechanical systems that consume power. The result is an overall decrease in energy consumption. Locate windows primarily on the north and south sides of the house. Low windows should be placed on the windward side (toward the direction from which the wind blows) and high windows should be placed on the leeward side (away from the direction from which the wind blows). Windows should be high-performance low-e and operable for passive cooling.

5. Windows with a National Fenestration Rating Council (NFRC) have ratings that measure the insulating properties of the window. The NFRC U-value measures the rate of heat flow through a window. The lower U-value indicates lower heat loss in winter or heat gain in summer. The Solar Heat Gain Coefficient (SHGC) measures the amount of solar heat that a window allows to pass. A lower SHGC is desirable in order to reduce heat gain. Windows have a NFRC total unit U-factor of 0.65 or less and/or a NFRC Solar Heat Gain Coefficient of 0.55 or less.

6. Two windows in each room allow for maximum ventilation and provide for sufficient natural lighting to reduce the need for mechanical cooling and artificial lighting. Overall,

energy consumption could be reduced. Install at least two (2) windows in each room given the size constraints of the room, and position across from one another if possible.

7. Increased use of outdoor areas would minimize use of indoor areas. By creating an outdoor space that incorporates cooling elements such as water features and vegetation, the outside temperature is cooled making outdoor living more enjoyable. The north side of the house is the least impacted by solar radiation and most favorable site for outdoor environments. It also reduces solar heat gain of the house, thereby reducing reliance on mechanical cooling systems. Incorporate protected and desirable outdoor areas on the north side of each home, with electrical outlets to encourage outdoor use.
8. Infrequently used spaces can act as buffer areas to control solar heat gain of the house, thereby, reducing reliance on mechanical cooling systems. Garages, storage areas and detached rooms should be located on the west side of the house, where practical. If these are to be attached to the house, locate them at the west end of the house.
9. Strategically placed vents allow for efficient passive cooling of the house. Cool area vents allow for entry of cool air and thermal mass vents expel hot air in south side of home. Overall, solar heat gain is controlled and reliance on mechanical cooling systems is reduced. Where practical, install vents directly above thermal mass areas on the south side of house in two-story homes and install vents in cooler areas of house.
10. This feature, in conjunction with the use of windows for passive cooling purposes, would control thermal migration in roof cavities, walls, ceilings, and attic spaces reducing heating/cooling loads. Incorporate a vented roof cavity and install a whole house fan, or insulate the underside of the roof. Attic insulation of at least R-30 and insulate every hole, crack and void. Apply high insulation factor material in exterior walls (R-19) and ceilings (R-30).

During Selection of Home Features and Appliances:

1. Built-in task lighting reduces reliance on general purpose lighting, ultimately lowering electrical consumption. Consider the use of task lighting in heavily used rooms such as the kitchen, bathroom and offices or other work areas.
2. Ceiling fans draw up and expel hot air. Consider installing strategically placed ceiling fans in all major rooms with reversible, multi-speed feature.
3. Light colors reduce thermal migration, maximize control of solar heat gain and ultimately reduce utility costs. Where practical, use light colored paint on interior walls with a Light Reflectance Value (LRV) of minimum 40%.
4. A passive clothes-drying system option encourages alternative methods for clothes drying, reducing the use of the dryer which heats the home and consumes energy. Consider installing a passive clothes-drying system in the home's laundry area, or offer a passive system as a homebuyer option.
5. Thermal mass is any mass used to collect and hold heat including adobe, brick, concrete, tile, water, earth, rock, vegetation, etc. Where practical, strategically locate and incorporate the use of thermal mass inside the house including but not limited to: tile flooring near windows, glass entries along the south side of the home.
6. Where practical, use energy-efficient appliances and programmed thermostats to reduce the amount of consumed energy and reduce utility bills.
7. Consider installing the following in-home features to reduce energy consumption:
 - Energy Star appliances: dishwasher, washer, dryer, HVAC system with a SEER rating of 12.0.
 - Programmable thermostat.
 - Fluorescent light bulbs.
 - Non-incandescent lighting fixtures of at least 50% of total.
 - Limit interior lighting wattage to 0.5 watts per sf.

- Smart wiring concepts.
8. Use of passive solar energy minimizes the consumption of electricity. Additional energy conservation features, provided as homebuyer options, shall include these features, based on the most recent technologies and market availability. Some of these options may include, but not limited to:
- Photovoltaic (PV) panels for electrical power needs of home.
 - Photovoltaic landscape lighting, gate openers, water features.
 - Solar water heating system.
9. Permeable materials cut down on the amount of heat absorbed and re-radiated from paved surfaces. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. Where possible, offer a permeable driveway surface as a homebuyer option.
10. Use of passive solar energy minimizes the consumption of electricity. If a pool or spa is provided in common recreation areas, consider the option of a solar assisted heating/cooling system for the pool and spa.

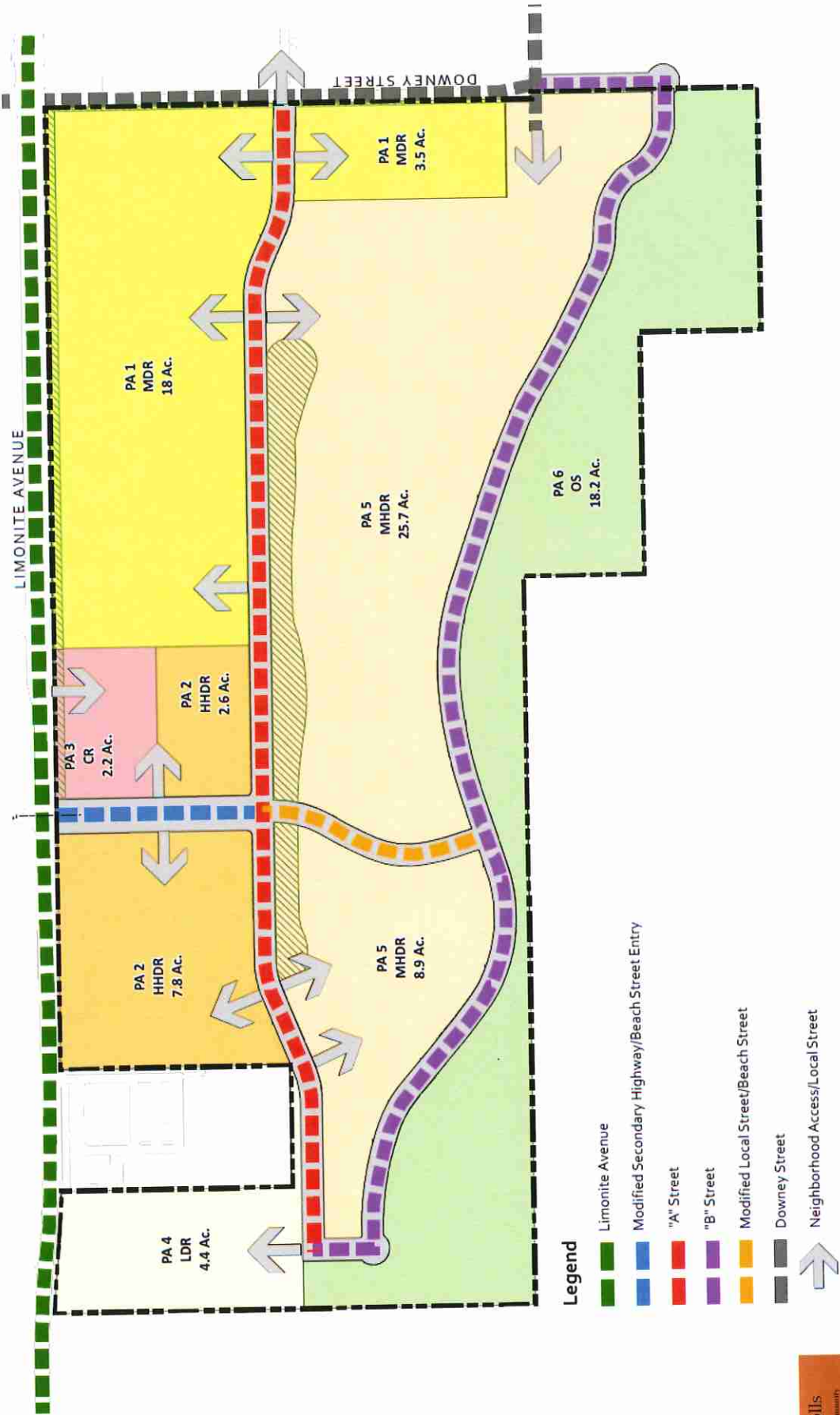
Goal #2: Maximize Water Quality and Conservation**Design Considerations:**

1. If a pool is provided in a common recreation area, install a pool filtration with zero water backwash system to reduce and possibly eliminate the need to drain the pool.
2. Install the following in-home features to reduce water usage:
 - Low-flow toilets.
 - Horizontal access washing machines.
 - Low-flow showerhead and faucet aerators.

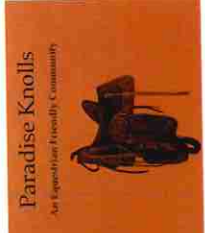
Goal #3: Minimize Landfill Waste

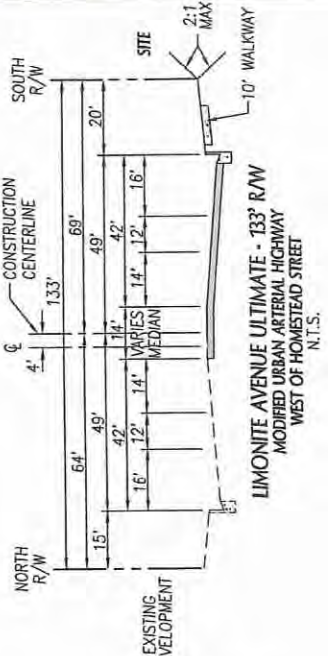
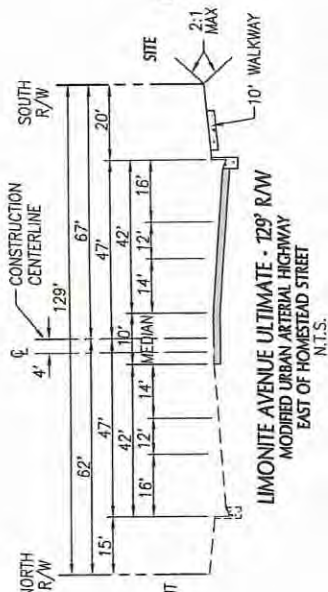
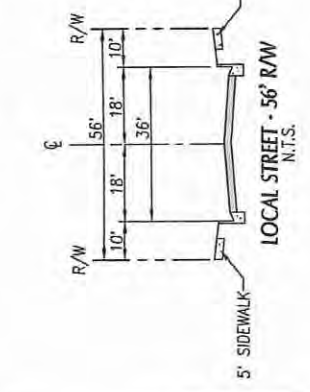
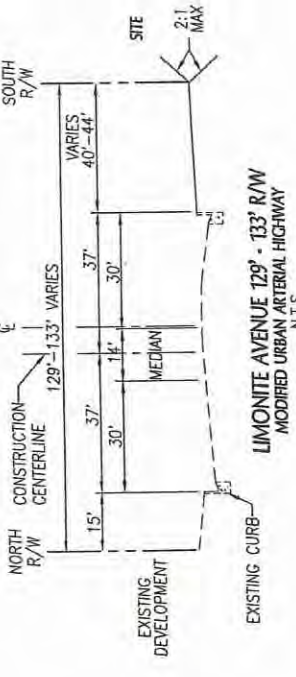
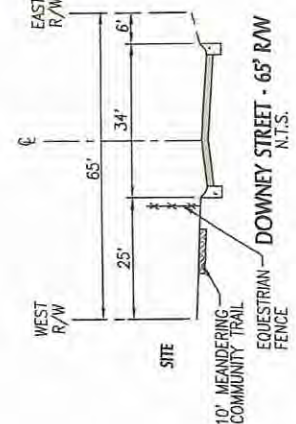
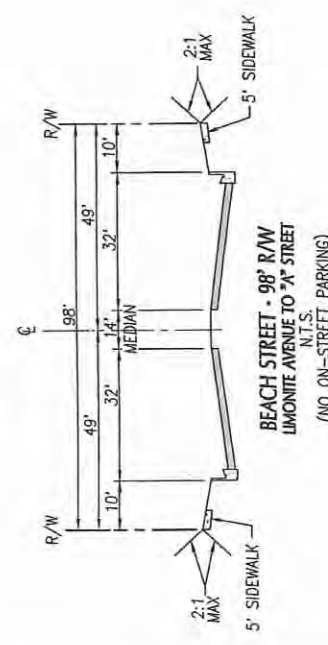
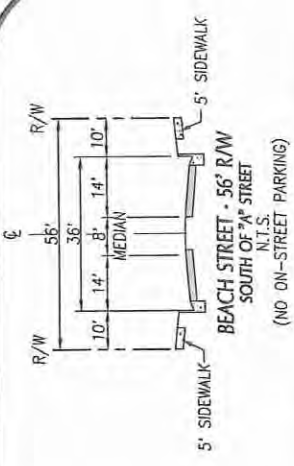
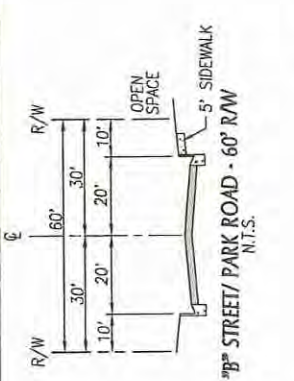
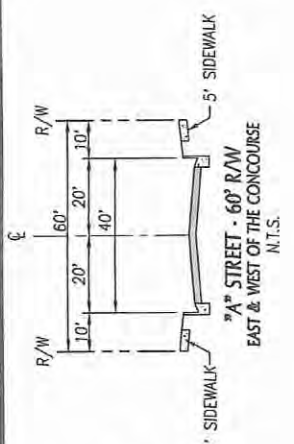
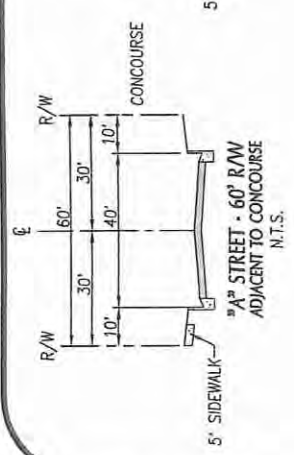
1. Install built-in recycling bins, preferably two or more 5 gallon bins, in or near kitchen to reduce waste deposited to landfills.

Section II: Specific Plan



VEHICULAR CIRCULATION PLAN - FIGURE II-1





PLOT DATE: April 13, 2016 00504



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(509) 396-1100 Fax: (509) 396-1125

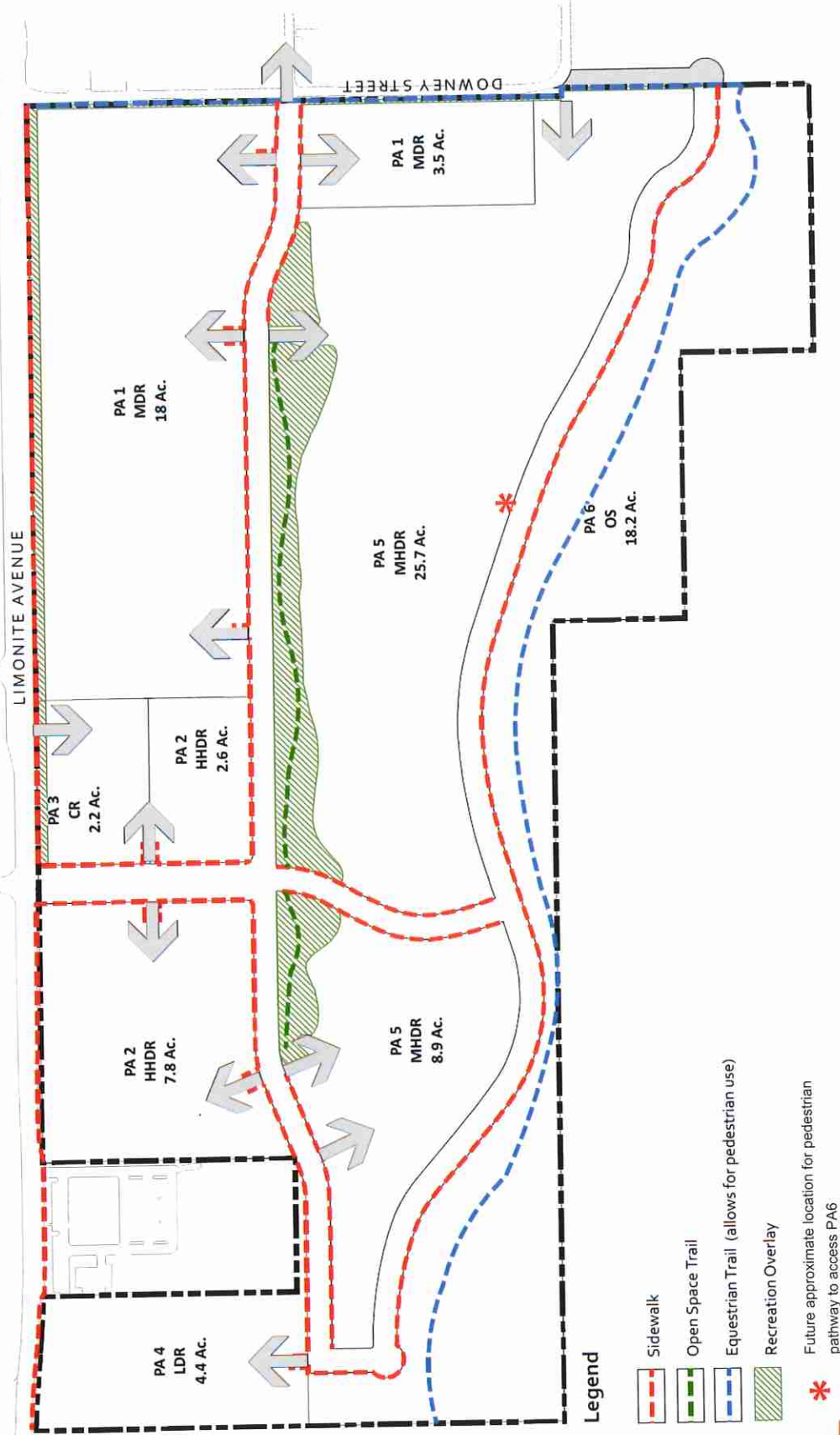
PARADISE KNOLLS ROADWAY CROSS SECTIONS



Prepared For:
LANSING COMPANIES
12671 HIGH BLUFF DRIVE, SUITE 150
SAN DIEGO, CA 92130
(858) 523-0719

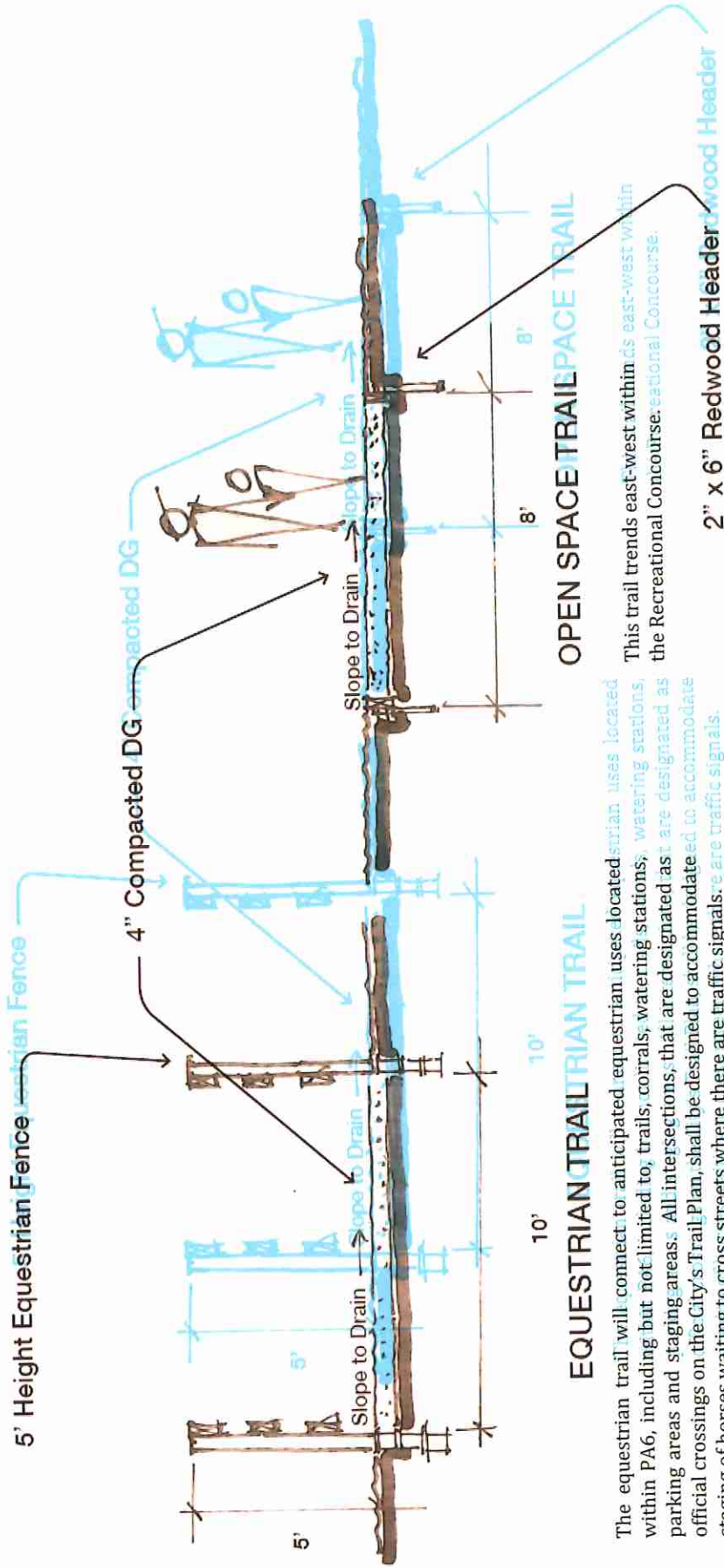
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Section II: Specific Plan



NON-VEHICULAR CIRCULATION PLAN - FIGURE II-3





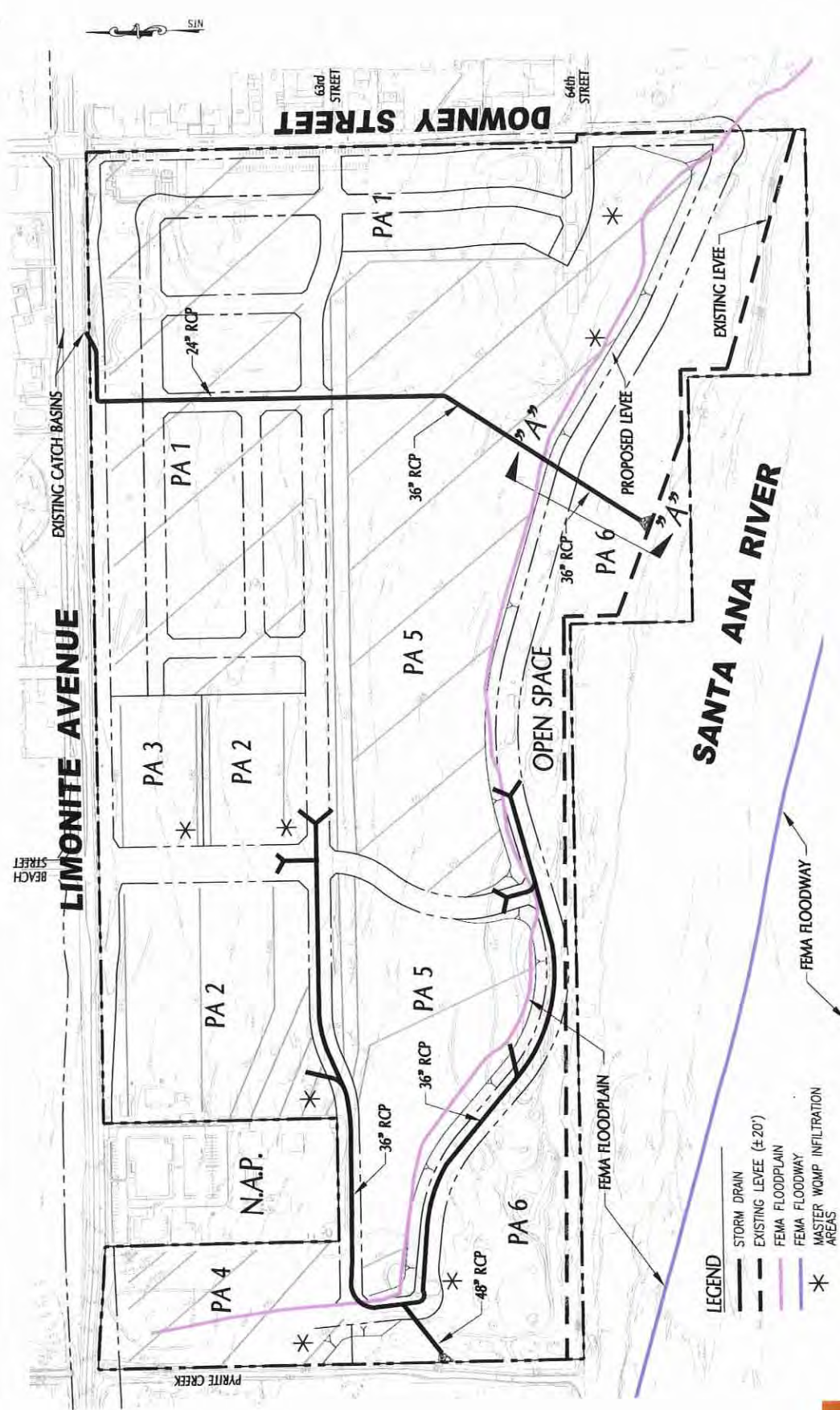
EQUESTRIAN TRAIL
 The equestrian trail will connect to anticipated equestrian uses located within PA6, including but not limited to, trails, corrals, watering stations, parking areas and staging areas. All intersections, that are designated as official crossings on the City's Trail Plan, shall be designed to accommodate staging of horses waiting to cross streets where there are traffic signals. This trail may also be used by pedestrians.

OPEN SPACE TRAIL
 This trail trends east-west within the Recreational Concourse. This trail is designed to accommodate pedestrian use.



All trails shall be lighted at nighttime by a combination of varying heights of lighting fixtures; reference Figure V-47, Trail Lighting Fixtures.

Section II: Specific Plan



MASTER DRAINAGE PLAN - FIGURE II-5a



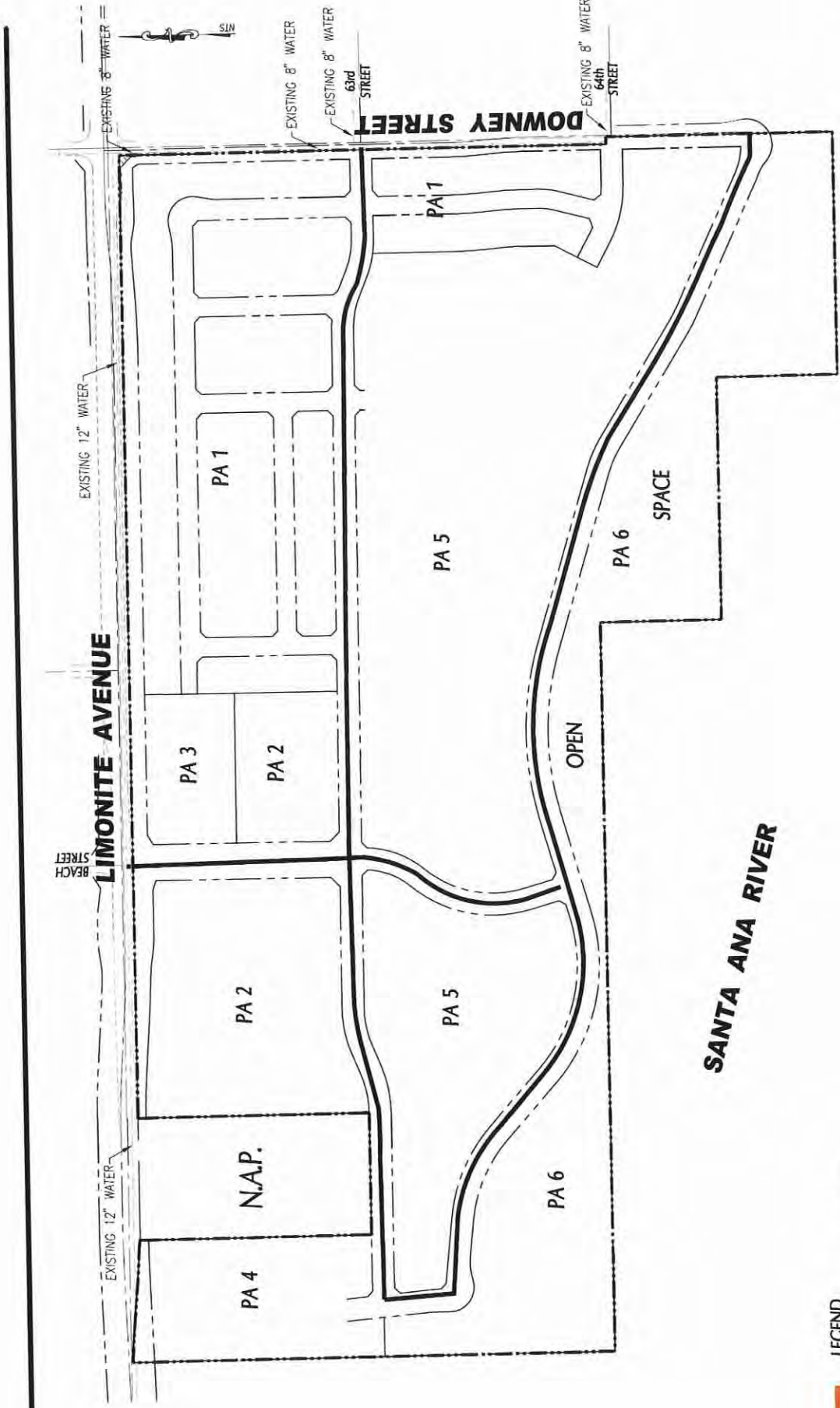
Section II: Specific Plan



SECTION "A" - "A"
LEVEE
N.T.S.



Section II: Specific Plan

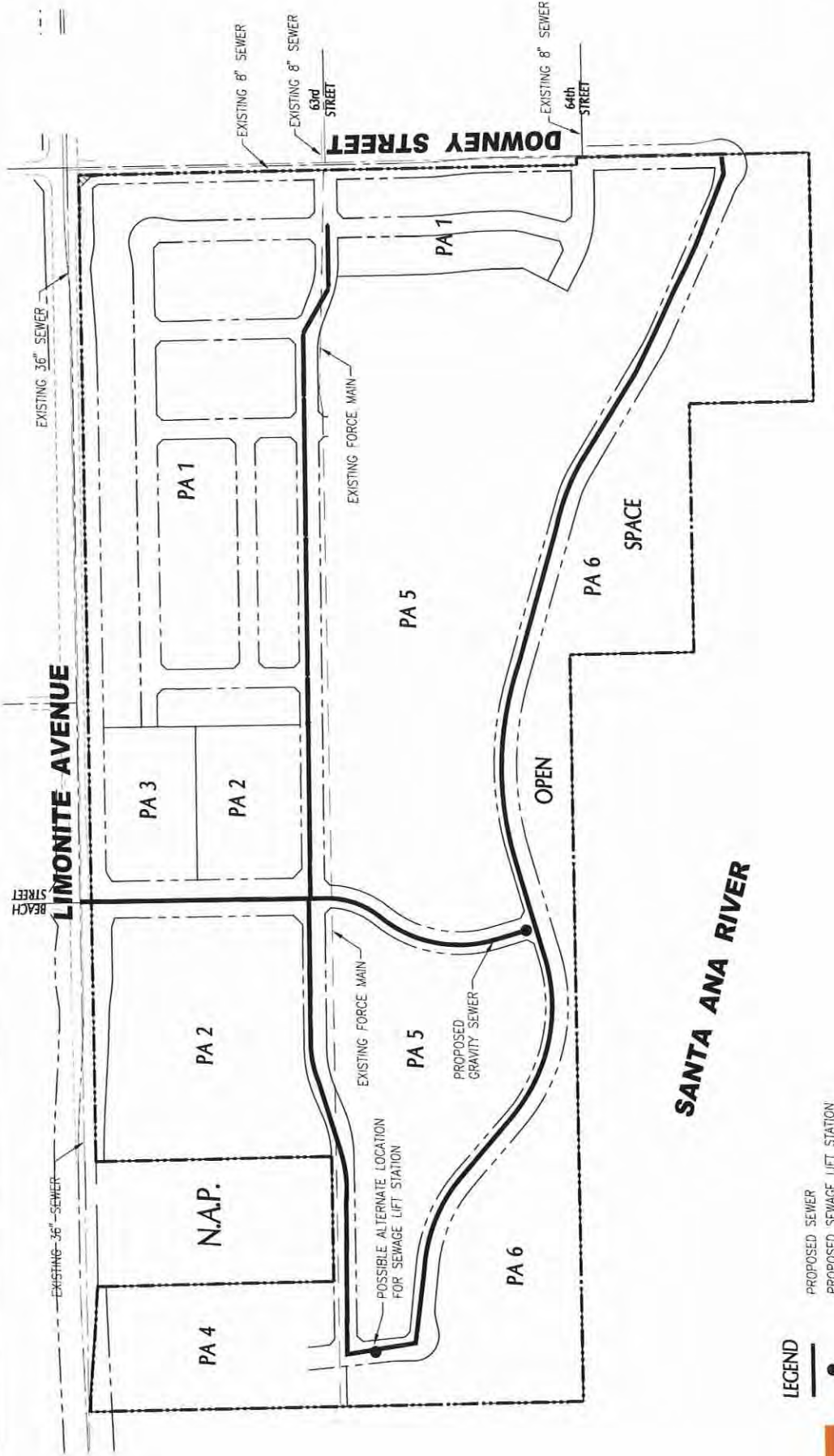


LEGEND
 PROPOSED WATER

POTABLE WATER PLAN - FIGURE II-6



Section II: Specific Plan



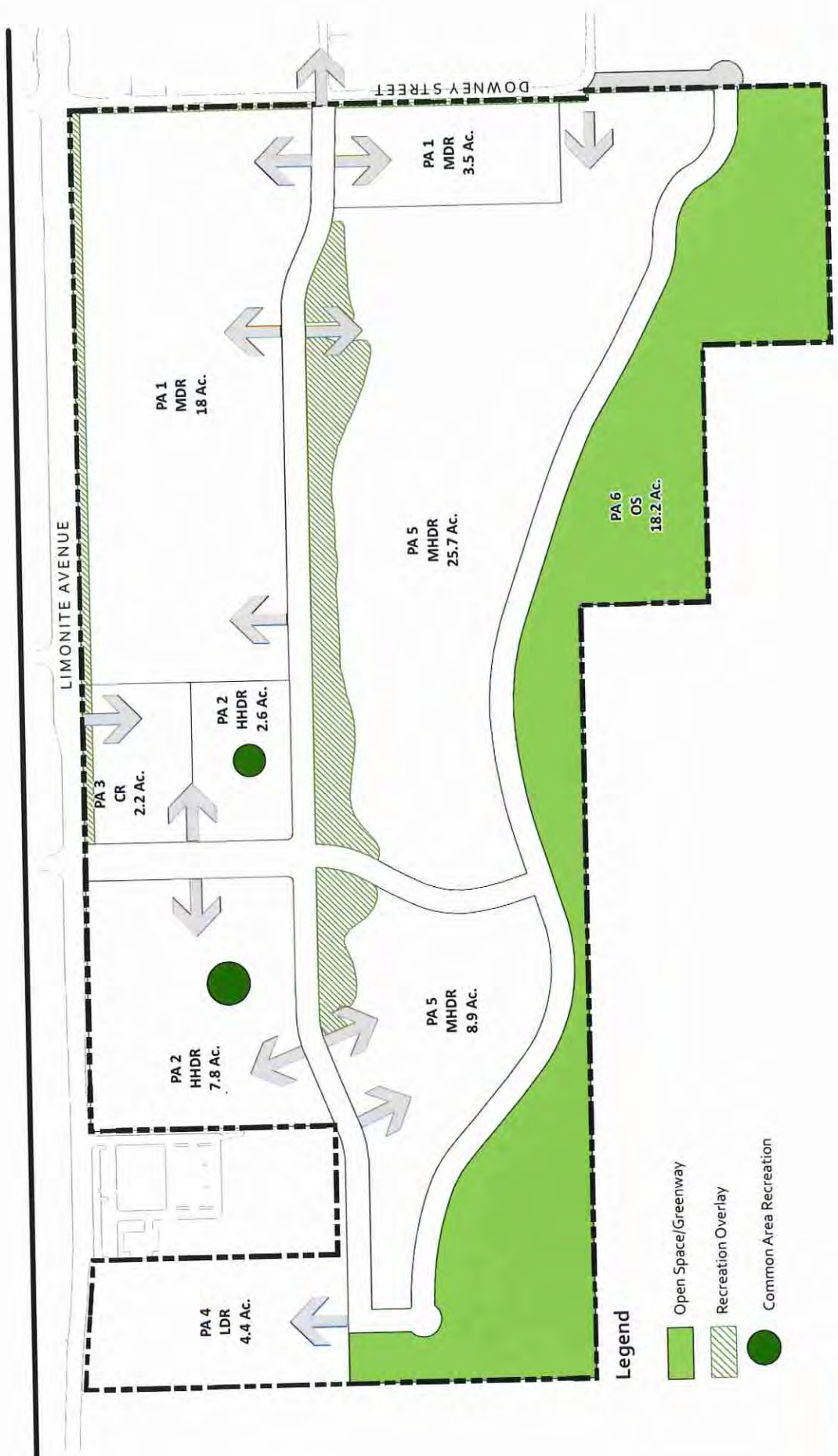
LEGEND

— PROPOSED SEWER
 ● PROPOSED SEWAGE LIFT STATION

MASTER SEWER PLAN - FIGURE II-7



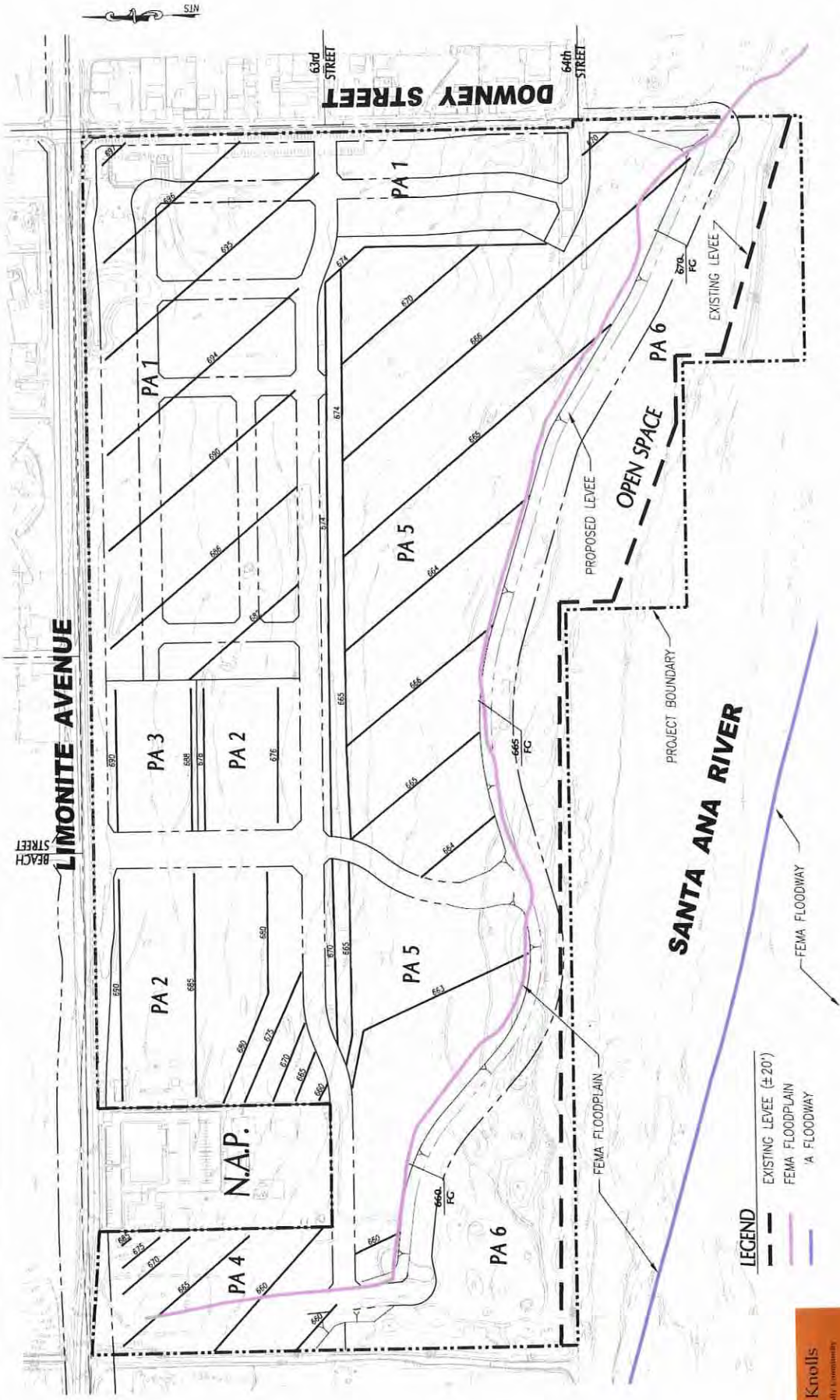
Section II: Specific Plan



OPEN SPACE AND RECREATION PLAN - FIGURE II-8



Section II: Specific Plan

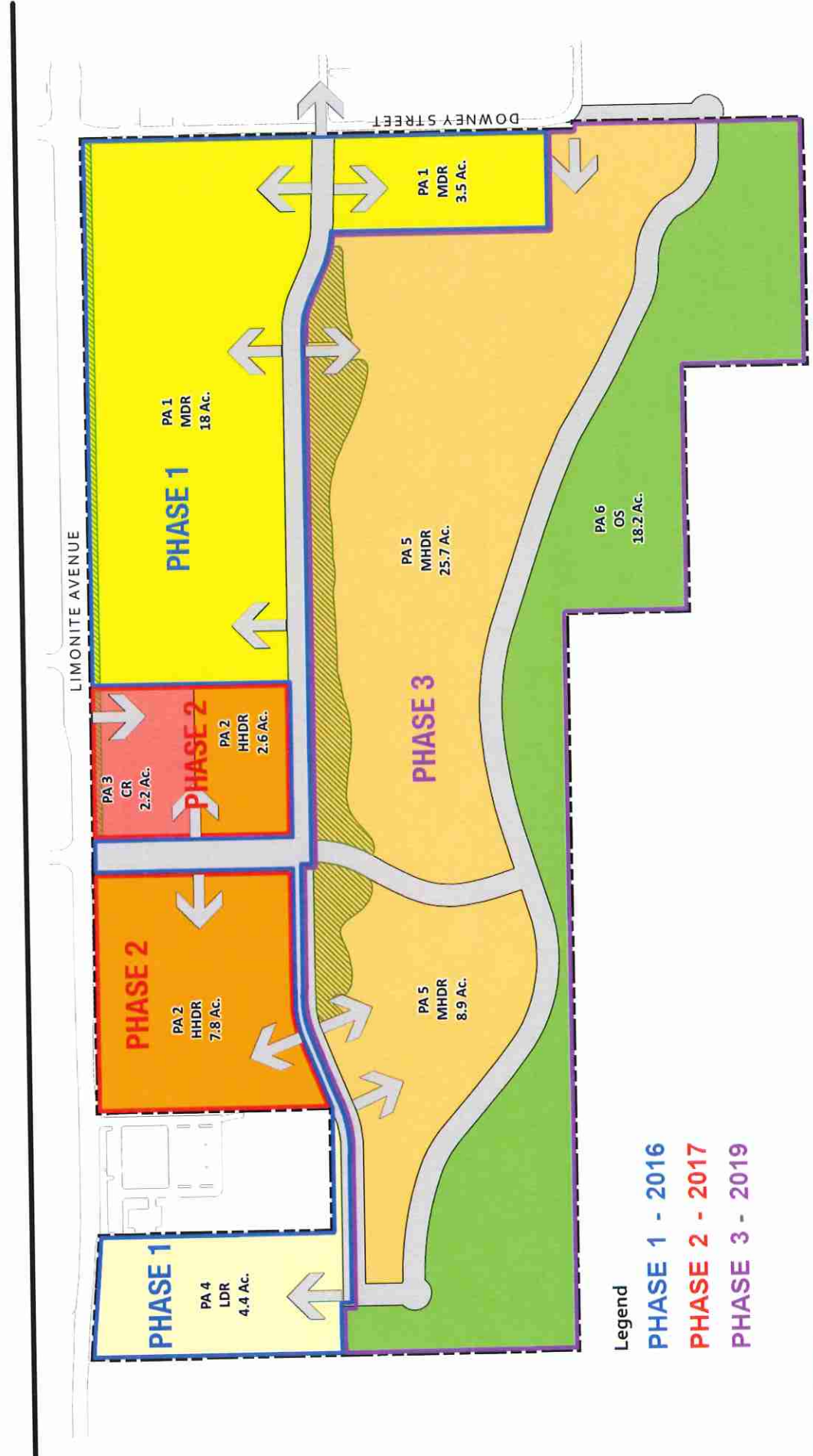


LEGEND
 --- EXISTING LEVEL (±20')
 --- FEMA FLOODPLAIN
 --- 'A' FLOODWAY

CONCEPTUAL GRADING PLAN - FIGURE II-9
 Page II-56

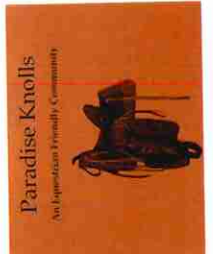


Section II: Specific Plan



- Legend
- PHASE 1 - 2016
 - PHASE 2 - 2017
 - PHASE 3 - 2019

CONCEPTUAL PHASING PLAN - FIGURE II-10
Page II-57



III. NEIGHBORHOOD DEVELOPMENT PLANS

A. Purpose and Intent

The purpose of the Neighborhood Development Plan is to ensure that future development within the Specific Plan will be consistent with all of the goals, objectives, guidelines and development standards requirements provisions set forth in this Specific Plan. The intent is that a Neighborhood Development Plan shall be approved by the Planning Commission either prior to, or concurrent with, approval of either a Tentative Tract Map, Site Development Permit, or Conditional Use Permit, or some combination thereof. These Plans will be approved only if found to be in conformance with the standards and guidelines set forth in the Specific Plan. The Neighborhood Development Plan will be utilized to establish the street pattern, infrastructure and design characteristics. The Planning Commission shall have the authority to modify any of the standards for residential development provided that the intent, goals, objectives, and provisions of the proposed Neighborhood Development Plan are consistent and compatible with the project description in the Paradise Knolls Specific Plan Executive Summary.

B. Application for a Neighborhood Development Plan (NDP)

1. Plan Requirements

The Neighborhood Development Plan shall contain the following information:

- a. Area map with project site identified.
- b. Vehicular Circulation Plan. Include existing streets, planned streets. Street sections that illustrate sidewalk width, any trails proposed, landscaped area separating the sidewalk from the curb.
- c. Proposed lot configuration.
- d. Proposed Trails and sidewalks.
- e. Required park locations, types and acreages.
- f. Summary table of development standards.
- g. Summary table of housing types and numbers.
- h. Tabulation of dwelling units per acre.

1. Consultation with City Staff

Consistency Determination. After developing the Neighborhood Development Plan, the applicant should meet with City staff who will determine if the proposed Plan is consistent with the Specific Plan.

2. Submittal Requirements

In addition to the above contents being included in twenty (20) copies of the NDP, the application must be submitted with the following:

Completed application	1 copy
Project Description/Narrative	20 copies
1000- foot radius map and Affidavit	1 copy
Property Ownership Labels	2 copies
Preliminary Title Report/Grant Deed	1 copy
Digital Files: Plans and Documents	1 copy

3. Submittal Process

- a. The applicant will submit a Land Use Application for the Neighborhood Development Plan to the Planning Department for City review and approval.
- b. An Initial Deposit will be required based upon the fee schedule adopted by the City Council for Neighborhood Development Plans.
- c. The Planning Department will circulate the Neighborhood Development Plan to City departments for review and comments.
- d. Comments will then be returned to the applicant and the applicant will revise the Neighborhood Development Plan according to the comments received.
- e. Once City Staff is satisfied that the Neighborhood Development Plan is consistent with the provisions of the Specific Plan, it will be scheduled for Planning Commission review.
- f. A Noticed Public Hearing will be conducted by the Planning Commission to approve, deny or modify the Neighborhood Development Plan.

- g. The Neighborhood Development Plan, along with either the tentative tract map, Site Development Permit, or Conditional Use Permit, or a combination thereof may be processed individually, or concurrently.
- h. When the City determines if either the tentative tract map, Site Development Permit, or Conditional Use Permit, or a combination thereof, complies with all City requirements, the if either the tentative tract map, Site Development Permit, or Conditional Use Permit, or a combination thereof will be scheduled for a Planning Commission public hearing.
- i. The Planning Commission will approve, deny or modify either the tentative tract map, Site Development Permit, or Conditional Use Permit, or a combination thereof.
- j. The City Council will approve the Final map.

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IV. PLANNING AREA NEIGHBORHOOD DEVELOPMENT STANDARDS

NOTE: ALL FIGURES FOR SECTION IV, DEVELOPMENT STANDARDS, ARE CONTAINED IN TAB IVB, DEVELOPMENT STANDARDS FIGURES.

Planning Areas within the Paradise Knolls Specific Plan (Specific Plan) were formed on the basis of existing development, existing and proposed roadways, environmental constraints, logical placement, phasing and neighborhood scale. Criteria considered in this process included drainage systems, roadway circulation patterns, desired home types and compatibility between land uses.

The Planning Area exhibits for this section (Figures IV-1 through IV-6) were derived from Figure I-1, *Conceptual Land Use Plan*. These exhibits are conceptual in nature and are intended to highlight many of the key features of the community that are outlined within this Specific Plan.

Many of the references within this section refer to Section V, *Design Guidelines*. The Design Guidelines Section of the Specific Plan has been created to establish the pattern and character of development within the Specific Plan. Landscape architecture and architecture are the key topics presented in the *Design Guidelines* section.

To provide flexibility within the Specific Plan, and to integrate a variety of residential home types, many of the residential planning areas accommodate multiple home types. Residential home types are further defined in the Design Guidelines section of this document. A total of 650 homes will be allowed within these planning areas. The Development Standards for each home type are presented in the Tables located in Chapter G. of this Section.

A. Traditional Neighborhood (PA1): Medium Density Residential (2-5 du/ac)

1. Descriptive Summary

Traditional Neighborhood (PA1), as shown on Figure IV-1, *Traditional Neighborhood (PA1)*, provides for the development of 21.5 acres with a target of 96 dwelling units (density range of 44 to 110 units) at a target density of 4.3 du/ac that allows lots in the 6,000 – 7,000 square-foot range. The neighborhood will include a diversity of architectural styles. PA1 is located in both the northeastern portion of the Specific Plan, and along the eastern property line just south “A” Street, and west of Downey Street in an effort to provide a transition to the existing, surrounding residential development; while being located in proximity to private and public open space/recreation, pedestrian networks and commercial uses.

Primary and secondary vehicular access to PA1 shall be provided from “A” Street. Sidewalks along these Streets provide primary pedestrian access to and from PA1. A sidewalk shall be located on Limonite Avenue, Downey Street, “A” Street, as well as future streets internal to PA1. These sidewalks will be part of a comprehensive trail and sidewalk system that will connect all Planning Areas within the Specific Plan. Attractive, green, walkable streets shall provide a safe path for pedestrians, bicyclists and children, to a public amenity, such as a park, trail or equestrian center; adjoining neighborhoods; and/or the neighborhood commercial center.

A ten-foot (10’) wide equestrian trail will be provided off-site, on the north side of Limonite Avenue. This equestrian trail will connect the trail on Beach Street, easterly to Downey Street. The equestrian trail will cross Limonite Avenue, at a controlled, signalized intersection and will proceed southerly along the Specific Plan’s easterly boundary along Downey Street. This trail will continue southerly across the easterly Village Neighborhood (PA5) boundary, and may terminate at the boarding facilities in PA5, or in Greenbelt, Open Space, Recreation (PA6). Trails within PA6 and other, off-site trails can be accessed at this point.

PA1 will be developed within Phase 1 of the Project.

2. Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Jurupa Valley shall approve all internal local and private roadways at the tentative map stage of development.
- b. Trails/sidewalks shall be located as illustrated in Figure II-3, *Non-Vehicular Circulation Plan*.
- c. Roadway landscape treatments and parkway configurations planned along Downey Street are shown in Figure V-28, *Downey Street Streetscape and Edge Condition*.
- d. Roadway landscape treatments and parkway configurations planned along Street "A" are shown in Figure V-29, *"A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition*.
- e. Roadway landscape treatments and parkway configurations planned along internal streets are shown in Figure V-34, *Local Streets Streetscape*.
- f. Roadway landscape treatments cul-de-sac configurations planned along internal streets are shown in Figure V-35, *Cul-de-sacs Streetscape*.
- g. Neighborhood entry monumentation will be provided as illustrated in Figure V-22, *Neighborhood Entry Monumentation*.
- h. Trail monumentation will be provided as depicted in Figure V-24, *Open Space/Trail Monumentation*.
- i. The interface between PA1 and PA2 is depicted in Figure V-36, *Traditional Neighborhood PA1 (MDR) - Multi-Family Neighborhood PA2 (HDR) Edge Condition*.
- j. The interface between PA1 and PA3 is depicted in Figure V-37, *Traditional Neighborhood PA1 (MDR) - Neighborhood Commercial PA3 Edge Condition*.
- k. The interface between PA1 and the PA5 is depicted in Figure V-38, *Traditional Neighborhood PA1 (MDR) - Village Neighborhood PA5 (MHDR) Edge Condition*.

- i. Walls and fencing shall be constructed as delineated in Figure IV-47, *Conceptual Wall and Fence Plan*, and Figures V-49a and V-49b, *Wall and Fence Elevations*.
- m. Block walls are not encouraged along streets, unless needed to control noise attenuation. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed.
- n. Water quality basins or swales shall be designed as buffers between adjacent neighborhoods, when possible.
- o. Outdoor lighting shall conform to the examples, as depicted on Figure V-51, *Outdoor Lighting*.
- p. Mailboxes shall be representative, in terms of scale, and intricacy of design detail, consistent with the examples depicted on Figure V-52, *Typical Mailboxes*.
- q. Street trees shall be planted, as depicted on Figure V-25, *Street Tree Plan*.
- r. Refer to Section V, Design Guidelines for other related design criteria.
- s. Refer to Section III, Neighborhood Development Plan for plan requirements and processing requirements.
- t. Refer to Section II, Specific Plan for the following standards that apply community -wide:

- | | |
|------------------------|--------------------------------------|
| II.A: Land Use Plan | II.F: Open Space and Recreation Plan |
| II.B: Circulation Plan | II.G: Grading Plan |
| II.C: Drainage Plan | II.H: Project Phasing Plan |
| II.D: Water Plan | II.I: Maintenance Plan |
| II.E: Sewer Plan | II.J: Energy Efficiency |

3. Land Use

The following uses shall be permitted in Traditional Neighborhood (PA1) of the Specific Plan with the approval of a Site Development Permit or a Conditional Use Permit; they shall include, but not be limited to:

Table IV-1, Land Use Regulations: PA1

Land Use Regulations: PA1	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
C	Conditional Use - Conditional use permit required
Land Use	PA1
Open Space and Resources	
Open Space	P
Education, Public Assembly and Recreation	
Churches, places of worship	C
Residential Recreational Facilities, Private	P
Residential	
Child Day Care - Up to 8 children	P
Home Occupations	P
Model Homes/Sales Office	P
Residential Accessory Uses Structures	P
Residential Care Homes - up to 6 Clients	P
Single-family Homes	P

For Development Standards please reference Tables in Chapter G of this Section.

B. Multi-Family Neighborhood (PA2): Highest Density Residential (20+ du/ac)

1. Descriptive Summary

Multi-family Neighborhood (PA2), as shown on Figure III-2, *Multi-family Neighborhood (PA2)*, provides for the development of 10.4 acres with a target of 300 primarily attached, individually owned, dwelling units. PA2 is located in both the northern central and northwestern portions of the Specific Plan, between Limonite Avenue and “A” Street, flanking the Beach Street Entry.

Primary vehicular access to PA2 shall be provided from Beach Street Entry, and “A” Street. Secondary access may also be provided to PA2, via “A” Street. Pedestrian access to and from PA2 is provided from sidewalks located along these streets. These sidewalks will be part of a comprehensive trail and sidewalk system that will connect all Planning Areas within the Specific Plan. Attractive, green, walkable streets will provide a safe pathway for pedestrians, bicyclists and children, to a public amenity, such as a park, trail or equestrian center; adjoining neighborhoods; and/or the neighborhood commercial center.

Highest density residential uses are planned within PA2, due to its location in proximity to both Limonite Avenue and PA3 (Commercial Retail). Two (2) private recreation areas shall be provided for the residents within PA2, as depicted on Figure V-44, *PA2 Private Recreation Areas*. These private recreation areas shall include at a minimum shaded seating areas, a swimming pool and spa, and pathways. It is anticipated that this component of the Specific Plan will have some building/entrances orientation to the street.

PA2 will be developed within Phase 2 of the Project.

2. Planning Standards

- a. Two (2) private recreations area shall be provided in PA2. Please reference Figure V-44, *PA 2 Private Recreation Area*.

- b. Vehicular roadways shall be planned as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Jurupa Valley shall approve all internal local and private roadways at the Neighborhood Development Plan stage of development.
- c. Roadway landscape treatments and parkway configurations planned along Limonite Avenue are shown in Figure V-27, *Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition*.
- d. Roadway landscape treatments and parkway configurations planned along Street "A" are shown in Figure V-29, *"A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition* and Figure V-30, *"A" Street East and West of PA5 Concourse Streetscape and Edge Condition*.
- e. Major entry monumentation will be provided as illustrated in Figures V-20a, *Major Entry Monumentation*, and V-20b, *Major Entry Monumentation*.
- f. Neighborhood entry monumentation will be provided as illustrated in Figure V-22, *Neighborhood Entry Monumentation*.
- g. The interface between PA2 and PA1 is depicted in V-36, *Traditional Neighborhood PA1 (MDR) - Multi-Family Neighborhood PA2 (HDR) Edge Condition*.
- h. The interface between PA2 and PA3 is depicted in Figure V-39, *Multi-Family Neighborhood PA2 (HDR) - Neighborhood Commercial PA3 Edge Condition*.
- i. The interface between PA2 and the adjacent California/Nevada Joint Apprenticeship Training Committee (JATC) facility is depicted in Figure V-40, *Multi-Family Neighborhood PA2 (HDR) and Rural Neighborhood PA4 (LDR) - Training Facility Edge Condition*.
- j. The interface between PA2 and PA5 is depicted in Figure V-41, *Multi-Family Neighborhood PA2 (HDR) - PA5 Open Space - Recreational Concourse Edge Condition*,
- k. Walls and fencing shall be constructed as delineated in Figure V-48, *Conceptual Wall and Fence Plan*, and Figures V-49a and V-49b, *Wall and Fence Elevations*.

- l. Construction of block walls are not encouraged along streets unless needed to control noise attenuation. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed.

- m. Water quality basins or swales shall be designed as buffers between adjacent neighborhoods, when possible.

- n. Outdoor lighting shall conform to the examples, as depicted on Figure V-51, *Outdoor Lighting*.

- o. Mailboxes shall be representative, in terms of scale, and intricacy of design detail, consistent with the examples depicted on Figure V-52, *Typical Mailboxes*.

- p. Street trees shall be planted, as depicted on Figure V-25, *Street Tree Plan*.

- q. Refer to Section IV, Design Guidelines for other related design criteria.

- r. Refer to Section III, Neighborhood Development Plan for plan requirements and processing requirements.

- s. Refer to Section II, Specific Plan for the following standards that apply community-wide:

- | | |
|------------------------|--------------------------------------|
| II.A: Land Use Plan | II.F: Open Space and Recreation Plan |
| II.B: Circulation Plan | II.G: Grading Plan |
| II.C: Drainage Plan | II.H: Project Phasing Plan |
| II.D: Water Plan | II.I: Maintenance Plan |
| II.E: Sewer Plan | II.J: Energy Efficiency |

3. Land Use

The following uses shall be permitted in Multi-family Neighborhood (PA2) of the Specific Plan with the approval of a Site Development Permit or a Conditional Use Permit; they shall include, but not be limited to:

Table IV-2, Land Use Regulations: PA2

Land Use Regulations: PA2	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
C	Conditional Use - Conditional use permit required
Land Use	PA2
Open Space and Resources	
Open Space	P
Education, Public Assembly and Recreation	
Churches, places of worship	C
Residential Recreational Facilities, Private	P
Residential	
Child Day Care - Up to 8 children	C
Home Occupations	P
Model Homes/Sales Office	P
Residential Accessory Uses Structures	P
Residential Care Homes - up to 6 Clients	C
Multi-family Homes	P

For Development Standards please reference Tables in Chapter G of this Section.

C. Neighborhood Commercial (PA3): Commercial Retail

1. Descriptive Summary

Neighborhood Commercial (PA3), as shown on Figure III-3, *Neighborhood Commercial (PA3)*, provides for the development of 2.2 acres of Commercial Retail uses. PA3 is located in the northern/central portion of the Specific Plan, at the southeastern corner of Limonite Avenue and Beach Street Entry.

PA3 will allow for up to 30,000 square feet of neighborhood commercial retail uses to create a vibrant neighborhood resource with opportunities for shopping, eating, and socialization for residents of the Specific Plan. The commercial component of the Specific Plan will also serve to provide the surrounding community with an opportunity to take advantage of the gathering spaces, restaurants, and retail services. Residential homes located over retail may be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-10, *Multi-Family Attached: Stacked Flats and Live/Work and Residential over Retail* for PA3.

The commercial retail portion of the Specific Plan shall be thematically and visually compatible with the overall community theme of "River Ranch Trails." The commercial retail will be a landmark at the entry and a core of service for Multi-family Neighborhood (PA2), yet serving the remainder of the Specific Plan and community in general. A palette of materials and colors will provide character and identity for the commercial area. The natural or manufactured materials and colors used shall reflect the general theme established in the prior phases of the Specific Plan.

Primary and secondary vehicular access to PA3 shall be provided from Beach Street Entry and a potential right-in/right-out turning movement from eastbound Limonite Avenue. A sidewalk located along Limonite Avenue, as well and from sidewalks located along Beach Street Entry, provides primary pedestrian access to and from PA3. These sidewalks will be part of a comprehensive trail and sidewalk system that will connect all Planning Areas within the Specific Plan. Attractive, green, walkable streets will provide a safe pathway for pedestrians, bicyclists and children, from all Specific Plan neighborhoods to and from the neighborhood commercial center. Equestrian hitching post(s) will be provided within PA3 for equestrians crossing Limonite Avenue at Beach Street.

PA3 will be developed within Phase 2 of the Project.

2. Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Jurupa Valley shall approve all internal local and private roadways at the Neighborhood Development Plan stage of development.
- b. Details of commercial retail elevations, pedestrian plazas, streetscenes, entries, architectural elements, massing, and articulation will be provided as illustrated on Figures V-16a-c, *Commercial Retail*.
- c. Commercial plazas will be provided as illustrated in Figure V-17, *Plaza Examples*.
- d. Outdoor seating areas will be provided as illustrated in Figure V-18, *Outdoor Seating Area Examples*.
- e. Commercial entry monumentation will be provided as illustrated in Figure V-23, *Commercial Entry Monumentation*.
- f. Roadway landscape treatments and parkway configurations planned along Limonite Avenue are shown in Figure V-26, *Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition*.
- g. Roadway landscape treatments and parkway configurations planned along Beach Street are shown in Figure V-31, *Beach Street Entry Streetscape and Edge Condition*.
- h. The interface between PA3 and PA1 is depicted in Figure V-37, *Traditional Neighborhood PA1 (MDR) - Neighborhood Commercial PA3 Edge Condition*.
- i. The interface between PA3 and PA2 is depicted in Figure V-39, *Multi-Family Neighborhood PA2 (HDR) - Neighborhood Commercial PA3 Edge Condition*.

- j. Walls and fencing shall be constructed as delineated in Figure V-48, *Conceptual Wall and Fence Plan*, and Figures V-49a and V-49b, *Wall and Fence Elevations*.
- k. Block walls are not encouraged along streets unless needed to control noise attenuation. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed.
- l. Water quality basins or swales shall be designed as buffers between adjacent neighborhoods, when possible.
- m. Outdoor lighting shall conform to the examples, as depicted on Figure V-51, *Outdoor Lighting*.
- n. Mailboxes shall be representative, in terms of scale, and intricacy of design detail, consistent with the examples depicted on Figure V-52, *Typical Mailboxes*.
- o. Street trees shall be planted, as depicted on Figure V-25, *Street Tree Plan*.
- p. Refer to Section V, Design Guidelines for other related design criteria.
- q. Refer to Section III, Neighborhood Development Plan for plan requirements and processing requirements.
- r. Refer to Section II, Specific Plan for the following standards that apply community-wide:
 - II.A: Land Use Plan
 - II.B: Circulation Plan
 - II.C: Drainage Plan
 - II.D: Water Plan
 - II.E: Sewer Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Project Phasing Plan
 - II.I: Maintenance Plan
 - II.J: Energy Efficiency

3. Land Use

The following uses shall be permitted in Neighborhood Commercial (PA3) with the approval of a Site Development Permit or a Conditional Use Permit; they shall include, but not be limited to:

Table IV-3, Land Use Regulations: PA3

Land Use Regulations: PA3	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
C	Conditional Use - Conditional use permit required
Land Use	PA3
Live/Work Residential	P
Small retail (including, but not limited to, accessories, specialty clothing, shoes, florist, jeweler, and similar uses)	P
Medium retail (including, but not limited to, general clothing, neighborhood market, drug store, general merchandise, pet supplies, and similar uses)	P
Resident Serving Businesses (including, but not limited to, barber, hair salon, nail salon, dry cleaner, banks, pet grooming, and similar uses)	P
Professional Office (including, but not limited to, medical, dental, chiropractic, laboratories, film, dental, medical, research or testing offices, law, real estate, tax, insurance, and similar uses)	P
Food Service (including, but not limited to, sit-down restaurants, sandwich shops, ice cream, frozen yogurt, coffee/tea, take-out with or without drive-throughs, and similar uses)	P
Instruction/Fitness (including, but not limited to, martial art studio, dance studio, yoga, specialty gym, and similar uses)	P
General Service (including, but not limited to, car washes, animal hospitals/veterinarian, congregate care residential facilities, bars and cocktail lounges, service stations, liquor stores, and similar uses)	C
Assembly (including, but not limited to, churches, temples, and places of worship, schools, specialized education, and other similar uses)	C

For Development Standards please reference Tables in Chapter G of this Section.

D. Rural Neighborhood (PA4): Low Density Residential (0-2 du/ac)

1. Descriptive Summary

Rural Neighborhood (PA4), as shown on Figure III-4, *Rural Neighborhood (PA4)*, provides for the development of a 4.4 acres of Low Density Residential units. PA4 is located in the northwestern portion of the Specific Plan, south of the Limonite Avenue, westerly of PA2.

Primary vehicular access to PA4 shall be provided from “A” Street. Secondary access may be provided to PA4, via “B” Street, once constructed. Pedestrian access to and from PA4 is provided from sidewalks located along these streets. These sidewalks will be part of a comprehensive trail and sidewalk system that will connect all Planning Areas within the Specific Plan.

This portion of the Specific Plan will allow the keeping of horses and will allow access to PA6, and the equestrian trails in proximity to the Specific Plan. Pyrite Wash creates a natural western boundary to PA4. It is not anticipated that there will be any physical disturbance to this Wash.

PA4 will be developed within Phase 1 of the Project.

2. Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Jurupa Valley shall approve all internal local and private roadways at the Neighborhood Development Plan stage of development.
- b. Roadway landscape treatments and parkway configurations planned along Limonite Avenue are shown in Figure V-27, *Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition*.
- c. Roadway landscape treatments and parkway configurations planned along “A” Street, are shown in Figure V-30, *“A” Street East and West of PA5 Concourse Streetscape and Edge Condition*.

- d. Roadway landscape treatments and parkway configurations planned along internal streets are shown in Figure V-34, *Local Streets Streetscape*.
- e. Roadway landscape treatments cul-de-sac configurations planned along internal streets are shown in Figure V-35, *Cul-de-sacs Streetscape*.
- f. The interface between PA4 and the adjacent California/Nevada Joint Apprenticeship Training Committee (JATC) facility is depicted in Figure V-40, *Multi-Family Neighborhood PA2 (HDR) and Rural Neighborhood PA4 (LDR) - Training Facility Edge Condition*.
- g. Walls and fencing shall be constructed as delineated in Figure V-48, *Conceptual Wall and Fence Plan*, and Figures V-49a and V-49b, *Wall and Fence Elevations*.
- h. Block walls are not encouraged along streets unless needed to control noise attenuation. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed.
- i. Outdoor lighting shall conform to the examples, as depicted on Figure V-51, *Outdoor Lighting*.
- j. Mailboxes shall be representative, in terms of scale, and intricacy of design detail, consistent with the examples depicted on Figure V-52, *Typical Mailboxes*.
- k. Street trees shall be planted, as depicted on Figure V-25, *Street Tree Plan*.
- l. Refer to Section V, Design Guidelines for other related design criteria.
- m. Refer to Section III, Neighborhood Development Plan for plan requirements and processing requirements.
- n. Refer to Section II, Specific Plan for the following standards that apply community-wide.

II.A: Land Use Plan
II.B: Circulation Plan

II.F: Open Space and Recreation Plan
II.G: Grading Plan

II.C: Drainage Plan
 II.D: Water Plan
 II.E: Sewer Plan

II.H: Project Phasing Plan
 II.I: Maintenance Plan
 II.J: Energy Efficiency

3. Land Use

The following uses shall be permitted in Rural Neighborhood (PA4) with the approval of a Site Development Permit or a Conditional Use Permit; they shall include, but not be limited to:

Table IV-4, Land Use Regulations: PA4

Land Use Regulations: PA4	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
C	Conditional Use - Conditional use permit required
Land Use	PA4
Open Space and Resources	
Open Space	P
Education, Public Assembly and Recreation	
Churches, places of worship	C
Residential Recreational Facilities, Private	P
Residential	
Child Day Care - Up to 8 children	P
Home Occupations	P
Model Homes/Sales Office	P
Residential Accessory Uses Structures	P
Residential Care Homes - up to 6 Clients	P
Single-family Homes	P
Keeping of animals	P

For Development Standards please reference Tables in Chapter G of this Section.

E. Village Neighborhood (PA5): Medium High Density Residential (5-8 du/ac)

1. Descriptive Summary

Village Neighborhood (PA5), as shown on Figure III-5, *Village Neighborhood (PA5)*, provides for the development of 35.0 acres with a target of 248 dwelling units (density range of 175 to 280 units) at a target Planning Area density of 7.1 du/ac. Planning Area 5 is located in the central portion of the Specific Plan, south of "A" Street, and both east and west of *Beach Street*, south of "A" Street.

This type of neighborhood provides a diversity of housing types that meet the needs of Jurupa Valley's many household sizes, incomes and lifestyle preferences. This neighborhood integrates a range of single-family and multi-family housing options within a green, walkable neighborhood environment that offer parks and playgrounds for the residents and access to basic shopping needs within a comfortable walk, bike ride or short drive.

The fundamental character of these neighborhoods is defined by tree-lined streets and small blocks, well-landscaped front yards and welcoming entries to each residence. Vehicular access and parking on each lot should not intrude into the front yards, primarily places for children to play and neighborhoods to meet. Although most of their residences are single-family detached houses, multi-family housing is also provided in "house-form" building type – such as duplexes, triplexes, quadplexes, and rowhouses that are compatible in scale and character with traditional single-family homes. Large apartment buildings or complexes are not compatible with this sort of neighborhood setting.

Primary vehicular access to PA5 shall be provided from "A" Street and Beach Street (Beach Street, South of "A" Street). Secondary vehicular access shall be provided from Downey Street. Primary pedestrian access to and from PA5 is provided by sidewalks along these Streets, as well as from a trail within the private Recreational Concourse. PA5 residents have convenient access to the adjacent Recreational Concourse in PA5, as well as sidewalks along roadways. These sidewalks will be part of a comprehensive trail and sidewalk system that will connect all Planning Areas within the Specific Plan.

An equestrian trail is proposed on the eastern boundary of PA5, along Downey Street. This trail runs the entire length of Downey Street, along the eastern boundary of Traditional Neighborhood (PA1) to the north of PA5 and along the eastern boundary of Greenbelt, Open Space, Recreation (PA6) to the south. This trail connects to the east-west trending trail on the north side of Limonite Avenue (off-site). A permanent boarding facility may be allowed in either PA6 or PA5, or a combination of the two.

A six (6) acre private Recreational Concourse is provided within PA5, which traverses the northern portion of PA5 and is bordered by "A" Street. On-street parking is provided for the Concourse. Because of its central location within the Specific Plan, it is intended that pedestrian access is the primary form of access to and from area. It is anticipated that there will also be active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and sidewalk to PA6 and the Santa Ana River.

PA5 will be developed within Phase 3 of the Project.

2. Planning Standards

- a. Vehicular roadways shall be planned as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Jurupa Valley shall approve all internal local and private roadways at the Neighborhood Development Plan stage of development.
- b. A private Recreational Concourse shall be provided within PA5, as depicted on Figure V-45 *PA5 Open Space – Recreational Concourse*. The HOA shall review and approve all wall, fencing and play equipment shade structures prior to the installation of these items.
- c. Roadway landscape treatments and parkway configurations planned along "A" Street are shown in Figure V-29, *"A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition*, and Figure V-30 *"A" Street East and West of PA5 Concourse Streetscape and Edge Condition*.
- d. Roadway landscape treatments and parkway configurations planned along Downey Street are shown in Figure V-28, *Downey Street Streetscape and Edge Condition*.

- e. Roadway landscape treatments and parkway configurations planned along internal streets are shown in Figure V-34, *Local Streets Streetscape*.
- f. Roadway landscape treatments cul-de-sac configurations planned along internal streets are shown in Figure V-35, *Cul-de-sacs Streetscape*.
- g. Open cul-de-sac design shall be encouraged, where feasible, to allow for convenient pedestrian access to adjacent sidewalks, trails and Project open space areas.
- h. Secondary entry monumentation will be provided as illustrated in Figure V-21, *Secondary Entry Monumentation*.
- i. Neighborhood entry monumentation will be provided as illustrated in Figure V-22, *Neighborhood Entry Monumentation*.
- j. Trail monumentation will be provided as depicted in Figure V-24, *Open Space/Trail Monumentation*.
- k. The interface between PA5 and PA1 is depicted in Figure V-38, *Traditional Neighborhood PA1 (MDR) - Village Neighborhood PA5 (MHDR) Edge Condition*.
- l. The interface between PA5 and PA2 is depicted in Figure V-41, *Multi-Family Neighborhood PA2 (HDR) - PA5 Open Space - Recreational Concourse Edge Condition*,
- m. The interface between PA5 and the recreational concourse is depicted in Figure V-42, *Village Neighborhood PA5 (MHDR) - PA5 Open Space - Recreational Concourse Edge Condition*.
- n. The interface between PA5 and PA6 is depicted in Figure V-43, *Village Neighborhood PA5 (MHDR) - Greenbelt, Open Space, Recreation PA6/Santa Ana River Edge Condition*.
- o. Walls and fencing shall be constructed as delineated in Figure V-48, *Conceptual Wall and Fence Plan*, and Figures V-49a and V-49b, *Wall and Fence Elevations*.

- p. Block walls are not encouraged along streets unless needed to control noise attenuation. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed.
- q. Water quality basins or swales shall be designed as buffers between adjacent neighborhoods, when possible.
- r. Outdoor lighting shall conform to the examples, as depicted on Figure V-51, *Outdoor Lighting*.
- s. Mailboxes shall be representative, in terms of scale, and intricacy of design detail, consistent with the examples depicted on Figure V-52, *Typical Mailboxes*.
- t. Street trees shall be planted, as depicted on Figure V-25, *Street Tree Plan*.
- u. Refer to Section V, Design Guidelines for other related design criteria.
- v. Refer to Section III, Neighborhood Development Plan for plan requirements and processing requirements.
- w. Refer to Section II, Specific Plan for the following standards that apply community-wide:

- | | |
|------------------------|--------------------------------------|
| II.A: Land Use Plan | II.F: Open Space and Recreation Plan |
| II.B: Circulation Plan | II.G: Grading Plan |
| II.C: Drainage Plan | II.H: Project Phasing Plan |
| II.D: Water Plan | II.I: Maintenance Plan |
| II.E: Sewer Plan | II.J: Energy Efficiency |

3. Land Use

The following uses shall be permitted in Village Neighborhood (PA5) of the Specific Plan with the approval of a Site Development Permit or a Conditional Use Permit; they shall include, but not be limited to:

Table IV-5, Land Use Regulations: PA5

Land Use Regulations: PA5	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
C	Conditional Use - Conditional use permit required
Land Use	PA5
Open Space and Resources	
Open Space	P
Equestrian facilities	P
Education, Public Assembly and Recreation	
Churches, places of worship	C
Residential Recreational Facilities, Private	P
Residential	
Child Day Care - Up to 8 children	P
Home Occupations	P
Model Homes/Sales Office	P
Residential Accessory Uses Structures	P
Residential Care Homes - up to 6 Clients	P
Single-family Homes	P

For Development Standards please reference Tables in Chapter G of this Section.

F. Greenbelt, Open Space, Recreation (PA6): Open Space - Recreation

1. Descriptive Summary

Greenbelt, Open Space, Recreation (PA6), as shown on Figure III-6, *Greenbelt, Open Space, Recreation (PA6)*, is a 22.2-acre recreation area, which provides public recreational opportunities for the region as well as the residents of the community. PA6 is located to the south of Village Neighborhood (PA5) and north of the Santa Ana River.

Vehicular access will be provided by the park access street, which is proposed to have a 60' right-of-way, with 40' of pavement. This will allow for on-street parking on the south side of the street for the entire length of the road.

Greenbelt, Open Space, Recreation (PA6) is approximately 22.2 acres and is designated Open Space (OS). PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa Ana River is only permitted as part of payment of green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility may be allowed in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project's easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6.

PA6 will be separated from PA5 by a local street and landscaping that will provide a buffer area. This landscape buffer area will be planted with materials that are contained within Table V-1, *Plant Palette* and will be compatible with one another in terms of species.

2. Planning Standards

- a. An equestrian trail shall be provided in PA6, consistent with Figure II-3, *Non-vehicular Circulation Plan* and Figure II-4, *Trail Cross Sections*.
- b. Open Space amenities, including, but not limited to passive recreation opportunities, equestrian trail(s), "look out" pavilions, picnic areas, seating areas, and equestrian staging area is depicted in Figures V-45a-45d, *Greenbelt, Open Space, Recreation PA6*.
- c. Trail monumentation will be provided as depicted in Figure V-24, *Open Space/Trail Monumentation*.
- d. The interface between PA6 and the Santa Ana River is depicted in Figure V-42, *Village Neighborhood PA5 (MHDR) – PA5 Open Space – Recreational Concourse Edge Condition*.
- e. Outdoor lighting shall conform to the examples, as depicted on Figure V-50, *Outdoor Lighting*.
- f. Refer to Section V, Design Guidelines for other related design criteria.
- g. Refer to Section II, Specific Plan for the following standards that apply community-wide:

- | | |
|------------------------|--------------------------------------|
| II.A: Land Use Plan | II.F: Open Space and Recreation Plan |
| II.B: Circulation Plan | II.G: Grading Plan |
| II.C: Drainage Plan | II.H: Project Phasing Plan |
| II.D: Water Plan | II.I: Maintenance Plan |
| II.E: Sewer Plan | |

3. Land Use

The following uses shall be permitted in Greenbelt, Open Space, Recreation (PA6) of the Specific Plan with the approval of a Site Development Permit; they shall include, but not be limited to:

Table IV-6, Land Use Regulations: PA6

Land Use Regulations: PA6	
P	Permitted Land Use - Compliance with development standards and zoning clearance required
Land Use	PA6
Public parks	P
Trails	P
Equestrian facilities	C

There are no Development Standards for PA6 as this planning area provides only passive open space uses and no buildings are permitted.

G. Development Standards

The Development Standards for each home type are presented in the Tables below.

- (1) If any of the Planning Areas of Specific Plan No. 1402 are developed with single-family detached: traditional - large lot homes, the development standards for shall be:

**Table IV-7
Single-Family Detached: Traditional - Large Lot**

Single-Family Detached: Traditional - Large Lot (Reference Figure V-1)	
Development Standards	
Use	Single-Family Detached: Traditional - Large Lot
Lot Dimensions (minimum)	
Minimum Lot Width	60'
Minimum Frontage on cul-de-sac	40'
Setbacks (minimum)	
Minimum Front Yard - to main structure	30'
Minimum Corner Side Yard	20'
Minimum Interior Side Yard	10'
Minimum Rear Yard	30'
Garage Setbacks	20'
Other (maximum)	
Maximum Structural Height	35'
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹ At least one side must have 5' clear

- All playground equipment and public gathering areas within PA4 shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.

(2) If any Planning Areas of Specific Plan No. 1402 are developed with single-family detached traditional homes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-8
Single-Family Detached: Traditional**

Single-Family Detached: Traditional (Reference Figure V-2)	
Development Standards	
Use	Single-Family Detached: Traditional
Lot Dimensions (minimum)	
Minimum Lot Width	30'
Minimum Lot Depth	80'
Minimum Frontage on cul-de-sac or knuckle	20'
Setbacks (minimum)	
Minimum Front Yard – to main structure	15'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage	Garage door 20' minimum from the back of the sidewalk
Side-in Garage	10' minimum
Distance Between Adjacent Structures	10'
Other (maximum)	
Maximum Structural Height	35'
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	2 Spaces/DU

¹ 5' public, 5' private

² At least one side must have 5' clear

- The minimum lot size shall be 6,000 square feet.
- All playground equipment and public gathering areas within Traditional Neighborhood (PA1) shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.
- The main entrance to the residence should be located within, or proximate to, the front façade, accessed directly from the street and designed to welcome visitors.
- Driveways from the street should be as narrow as practical and not more than 20 percent (20%) of the lot width within the front yard setback to minimize front yard paving, unless located on a pie shaped lot, cul-de-sac, or knuckle, where this can be reduced to the most practical dimension.
- The frontage should minimize the visual impact of the garage/driveway.
- Homes should be in scale with the road width.

- Recessed garage: 5 feet from the property line to the garage; 20 feet from the main structure to the property line (ground floor); 7 feet for the second story over the garage.
- (3) If any Planning Areas of Specific Plan No. 1402 are developed with single-family detached: paired homes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-9
Single-Family Detached: Paired**

Single-Family Detached: Paired (Reference Figure V-3)	
Development Standards	
Use	Single-Family Detached: Paired
Lot Dimensions (minimum)	
Minimum Lot Width	25'
Minimum Frontage on cul-de-sac	10'
Setbacks (minimum)	
Minimum Front Yard – to main structure	10'
Minimum Front Yard – to porch	5'
Garage	Garage door 20' minimum from the back of the sidewalk
Side-Entry Garage	15'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	5'
Rear	5' ²
Distance Between Adjacent Structures	10'
Other (maximum)	
Maximum Structural Height	35'
Minimum Private Open Space	400 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ³
Off Street Parking Requirements per DU	2 Spaces/DU

¹ 5' public, 5' private

² Deep recessed garage may encroach into the required rear yard setback a maximum of 3'

³ At least one side must have 5' clear

- The minimum (average) lot size shall be 6,000 square feet.
- All common playground equipment and public gathering areas within PA1 shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.
- The main entrance to the residence should be located within, or proximate to, the front façade, accessed directly from the street and designed to welcome visitors.
- Driveways from the street should be as narrow as practical and not more than 20 percent (20%) of the lot width within the front yard setback to minimize front yard paving unless

located on a pie shaped lot, cul-de-sac, or knuckle, where this can be reduced to the most practical dimension.

- The frontage shall minimize the visual impact of the garage/driveway.
- Homes should be in scale with the road width.
- Recessed garage: 5 feet from the property line to the garage; 20 feet from the main structure to the property line (ground floor); 7 feet for the second story over the garage.

(4) If any Planning Areas of Specific Plan No. 1402 are developed with single-family detached: narrow/deep homes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-10
Single-Family Detached: Narrow/Deep**

Single-Family Detached: Narrow/Deep (Reference Figure V-4)	
Development Standards	
Use	Single-Family Detached: Narrow/Deep
Lot Dimensions (minimum)	
Minimum Lot Width	30'
Minimum Lot Depth	80'
Minimum Frontage on cul-de-sac or knuckle	20'
Setbacks (minimum)	
Minimum Front Yard - to main structure	10'
Minimum Front Yard - to porch	3'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	5'
Minimum Rear Yard	3'
Garage Setbacks	3' max
Side-in Garage Setbacks	N/A
Distance Between Adjacent Structures	10'
Other (maximum)	
Maximum Structural Height	35'
Minimum Private Open Space	400 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	2 spaces/DU

¹ 5' public, 5' private

² At least one side must have 5' clear

- The minimum lot size shall be 6,000 square feet.

- All playground equipment and public gathering areas within Traditional Neighborhood (PA1) shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.
- The main entrance to the residence should be located within the front façade, accessed directly from the street and designed to welcome visitors.
- Homes should be in scale with the road width.
- Recessed garage: 3 feet from the property line to the garage; and 7 feet for the second story over the garage.

(5) If any Planning Areas of Specific Plan No. 1402 are developed with single-family detached: courtyard homes (garden and/or motor court), the development standards for Specific Plan No. 1402 shall be:

**Table IV-11
Single-Family Detached: Cluster (Garden Court)**

Single-Family Detached: Cluster (Garden Court) (Reference Figure V-5)	
Development Standards	
Designation/ Use	Single-Family Detached: Cluster (Garden Court)
Planning Area	5
Lot Dimensions (minimum)	
Minimum Lot Width	25'
Setbacks (minimum)	
Minimum Front Yard - to main structure	5' from walkway
Minimum Corner Side Yard	5'
Minimum Interior Side Yard	4' or 8' between structures
Minimum Rear Yard	6'
Garage Setbacks	2' max
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other (maximum)	
Maximum Structural Height	35'
Minimum Private Open Space	180 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹ At least one side must have 5' clear

Table IV-12
Single-Family Detached: Cluster (Motor Court)

Single-Family Detached: Cluster (Motor Court) (Reference Figure V-6)	
Development Standards	
Designation/ Use	Single-Family Detached: Cluster (Motor Court)
Planning Area	5
Lot Dimensions (minimum)	
Minimum Lot Width	25'
Setbacks (minimum)	
Minimum Front Yard - to main structure	5' from walkway
Minimum Corner Side Yard	4'
Minimum Interior Side Yard	4' or 8' between structures
Minimum Rear Yard	8'
Garage Setbacks	2' max
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other (maximum)	
Maximum Structural Height	35'
Minimum Private Open Space	180 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹ At least one side must have 5' clear

- The minimum lot size shall be 2,500 square feet.
- The minimum front to side: between structures setback shall be at least twenty feet (20'). The minimum side to side: between structures setback shall be at least ten feet (10'). The minimum rear to rear: between structures setback shall be at least fifteen feet (15'). The minimum rear to rear: across alley or motor court setback shall be at least thirty feet (30').
- All playground equipment and public gathering areas within PA5 shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.

(6) If any Planning Areas of Specific Plan No. 1402 are developed with multi-family attached: duplex/triplex homes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-13
Multi-Family Attached: Duplex/Triplex**

Multi-Family Attached: Duplex/Triplex (Reference Figure V-7)	
Development Standards	
Use	Multi-Family Attached: Duplex/Triplex
Lot Dimensions (minimum) (average)	
Lot Width	60'
Setbacks (minimum)	
Front Facing Street	8'
Front Facing Green Court	10'
Front-Entry Garage	20'
Street Side	5'
Interior Side	5'
Encroachments	2'
Rear	8'
Rear Entry Garage	3' max
Encroachments	4'
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other (maximum)	
Maximum Structural Height	40'
Minimum Private Open Space	200 SF
Encroachments (fireplaces, AC units, media centers)	2' ¹
Off Street Parking Requirements per DU	2 Spaces/DU

¹ At least one side must have 5' clear

- The minimum lot size shall be 7,200 square feet.
- The minimum front yard distance between adjacent buildings shall be at least twenty feet (20').
- All playground equipment and public gathering areas within PA5 shall be shaded in accordance with the Shade Standards described in Section IV.E.2 of Specific Plan No. 1402.

(7) If any Planning Areas of Specific Plan No. 1402 are developed with attached townhomes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-14
Multi-Family Attached: Townhomes**

Multi-Family Attached: Townhomes (Reference Figure V-8)	
Development Standards	
Designation/ Use	Multi-Family Attached: Townhomes
Planning Area	2
Lot Dimensions (minimum)	
Minimum Lot Width	30'
Setbacks (minimum)	
Minimum Front Yard – to main structure	10' from walkway
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	10' from walkway 25' between structures
Minimum Rear Yard	20' between structures
Garage Setbacks	2' max
Other (maximum)	
Maximum Structural Height	48'
Minimum Private Open Space	100 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²

¹ 5' public, 5' private

² At least one side must have 5' clear

- All playground equipment and public gathering areas within PA2 shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.

(8) If any Planning Areas of Specific Plan No. 1402 are developed with multi-family attached: courtyard homes, the development standards for Specific Plan No. 1402 shall be:

**Table IV-15
Multi-Family Attached: Courtyards**

Multi-Family Attached: Courtyards (Reference Figure V-9)	
Development Standards	
Designation/ Use	Multi-Family Attached: Courtyards
Planning Area	2
Lot Dimensions (minimum)	
Minimum Lot Width	60'
Setbacks (minimum)	
Minimum Front Yard - to main structure	10' from walkway
Minimum Corner Side Yard	10' from walkway ¹
Minimum Interior Side Yard	10' from walkway 20' between structures
Minimum Rear Yard	20' between structures
Garage Setbacks	2' max
Other (maximum)	
Maximum Structural Height	48'
Minimum Private Open Space	100 sq. ft. Minimum 8' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²

¹ 5' public, 5' private

² At least one side must have 5' clear

- The minimum front to side: between structures setback shall be at least twenty feet (20'). The minimum side to side: between structures setback shall be at least ten feet (10'). The minimum rear to rear: between structures setback shall be at least fifteen feet (15'). The minimum rear to rear: across alley or motor court setback shall be at least thirty feet (30').
- All playground equipment and public gathering areas within PA2 shall be shaded in accordance with the Shade Standards described in Section V.E.2 of Specific Plan No. 1402.

(9) If any Planning Areas of Specific Plan No. 1402 are developed with stacked flats, live/work, or residential over retail products, the development standards for Specific Plan No. 1402 shall be:

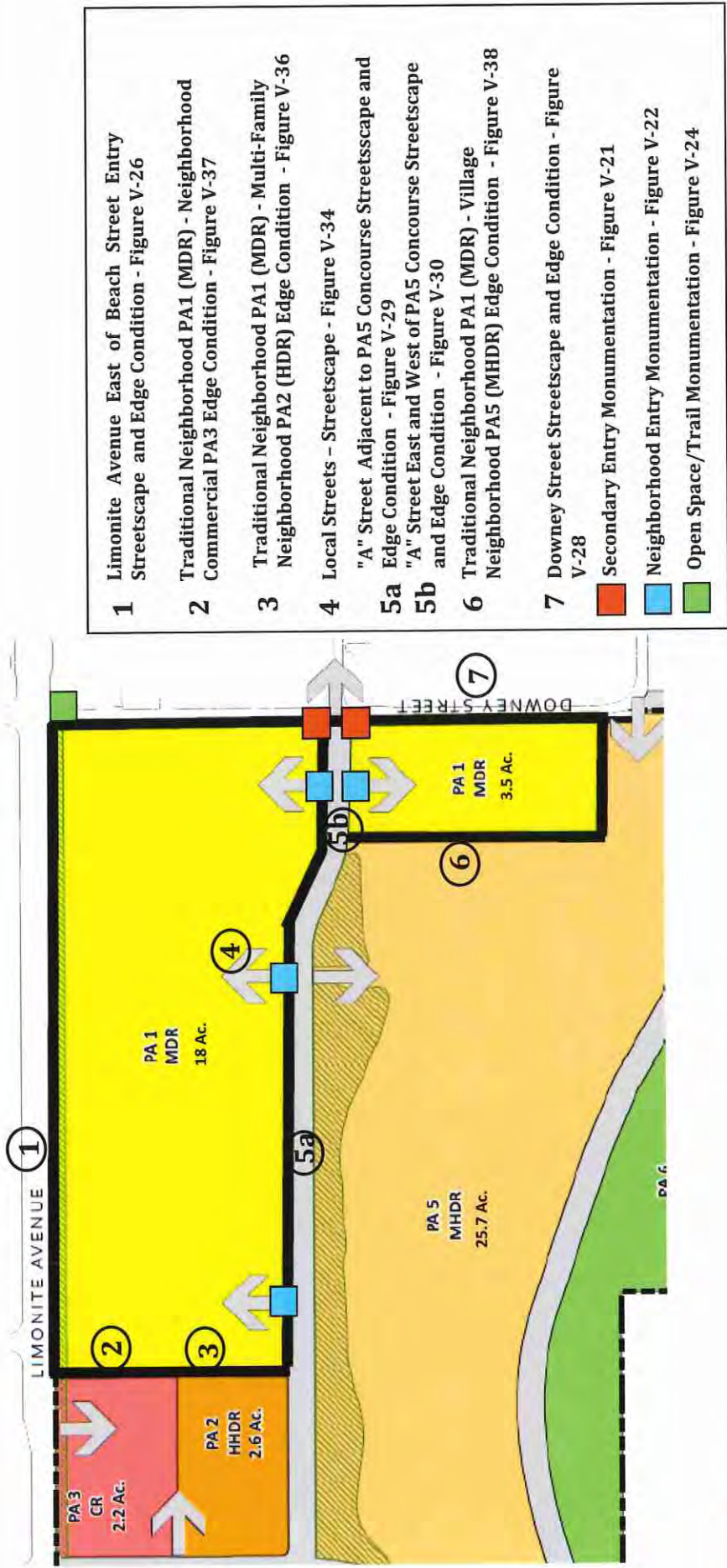
**Table IV-16
Multi-Family Attached: Stacked Flats, Live/Work, or Residential Over Retail**

Multi-Family Attached: Stacked Flats, Live/Work, or Residential Over Retail (Reference Figure V-10)	
Development Standards	
Use	Multi-Family Attached: Live/Work, Stacked Flats, and Residential Over Retail
Lot Dimensions	
Lot Width	60'
Setbacks	
A. Front Build-to Line (primary street)	Building façade placed 10' behind property line on the build-to line
B. Front Build-to Line (primary street)	Building façade placed 10' behind property line on the build-to line
C. Side Yard	5'
D. Rear (no alley)	10'
Parking Facility Setback (behind the build-to line) Surface, Tuck Under, Alley Loaded, Garage, and Podium Parking¹	
E. Front Yard (primary street)	20' minimum from the build-to line along the primary street frontage.
F. Side Yard (secondary frontage side on corner lot)	20' minimum from the build-to line along the primary street frontage.
G. Side Yard	5'
H. Rear (no alley)	3'
Other	
Maximum Structural Height	50'
Percentage of Frontage Required to be Placed on Build-to Line	75% to 100% minimum
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	On-site parking shall be provided as required per City Ordinances

¹ Subterranean parking 0 feet from property line

² At least one side must have 5' clear

Section IV: Development Plans and Standards




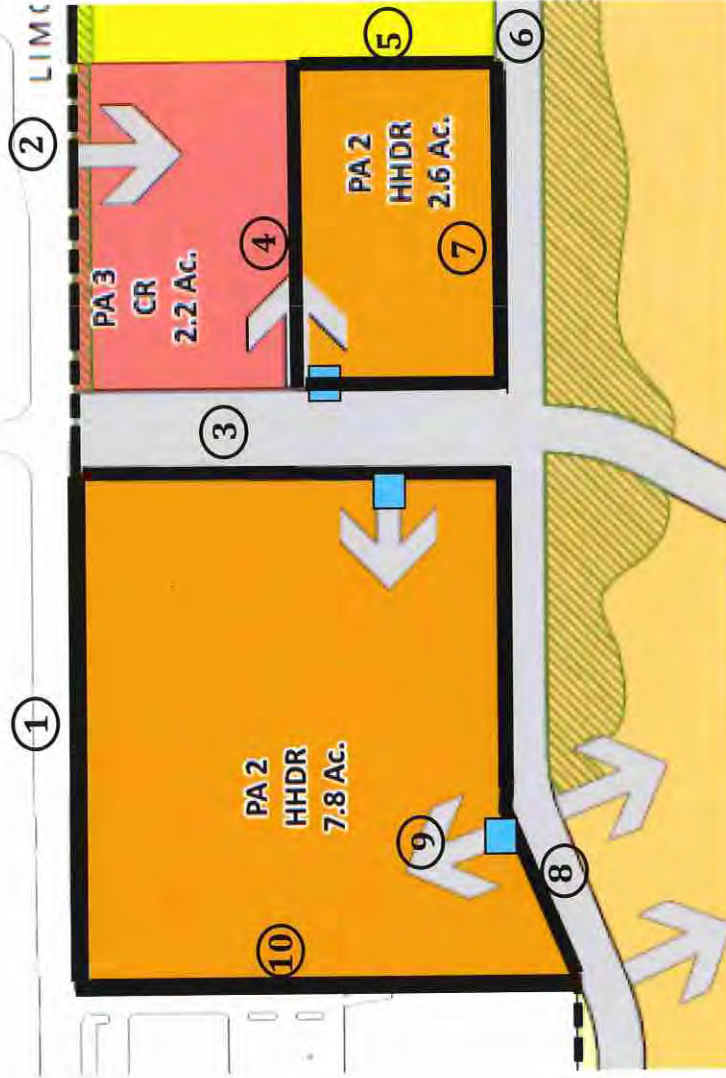
- 1 Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition - Figure V-26
 - 2 Traditional Neighborhood PA1 (MDR) - Neighborhood Commercial PA3 Edge Condition - Figure V-37
 - 3 Traditional Neighborhood PA1 (MDR) - Multi-Family Neighborhood PA2 (HDR) Edge Condition - Figure V-36
 - 4 Local Streets - Streetscape - Figure V-34
 - 5a "A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition - Figure V-29
 - 5b "A" Street East and West of PA5 Concourse Streetscape and Edge Condition - Figure V-30
 - 6 Traditional Neighborhood PA1 (MDR) - Village Neighborhood PA5 (MHDR) Edge Condition - Figure V-38
 - 7 Downey Street Streetscape and Edge Condition - Figure V-28
- Secondary Entry Monumentation - Figure V-21
 - Neighborhood Entry Monumentation - Figure V-22
 - Open Space/Trail Monumentation - Figure V-24



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- 1 Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition - Figure V-27
- 2 Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition - Figure V-26
- 3 Beach Street Entry Streetscape and Edge Condition - Figure V-31
- 4 Multi-Family Neighborhood PA2 (HDR) - Neighborhood Commercial PA3 Edge Condition - Figure V-39
- 5 Traditional Neighborhood PA1 (MDR) - Multi-Family Neighborhood PA2 (HDR) Edge Condition - Figure V-36
- 6 "A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition - Figure V-29
- 7 Multi-Family Neighborhood PA2 (HDR) - PA5 Open Space - Recreational Concourse Edge Condition - Figure V-41
- 8 "A" Street East and West of PA5 Concourse Streetscape and Edge Condition - Figure V-30
- 9 Local Streets - Streetscape - Figure V-34
- 10 Multi-Family Neighborhood PA2 (HDR) and Rural Neighborhood PA4 (LDR) - Training Facility Edge Condition - Figure V-40

 Neighborhood Entry Monumentation - Figure V-22



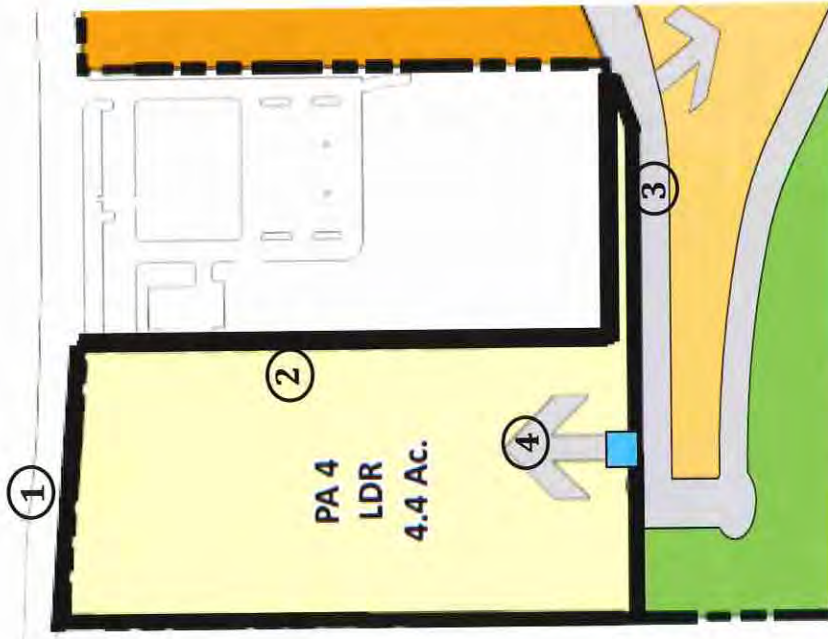
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- 1 Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition - Figure V-26
 - 2 Traditional Neighborhood PA1 (MDR) - Neighborhood Commercial PA3 Edge Condition - Figure V-37
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- 1** Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition - Figure V-27
- 2** Multi-Family Neighborhood PA2 (HDR) and Rural Neighborhood PA4 (LDR)- Training Facility Edge Condition - Figure V-40
- 3** "A" Street East and West of PA5 Concourse Streetscape and Edge Condition - Figure V-30
- 4** Local Streets- Streetscape - Figure V-34
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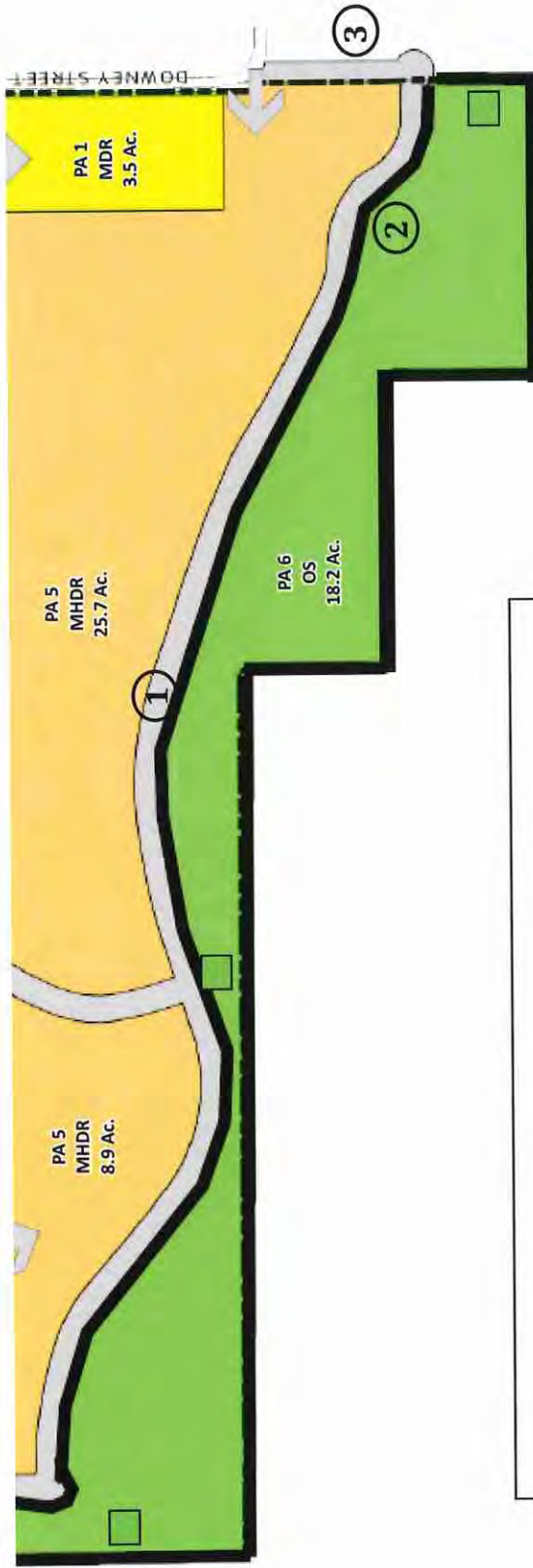


- 1 "A" Street East and West of PA5 Concourse Streetscape and Edge Condition - Figure V-30
- 2 Multi-Family Neighborhood PA2 (HDR) - PA5 Open Space Recreational Concourse Edge Condition - Figure V-41
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- 6 Beach Street, South of "A" Street Streetscape and Edge Condition - Figure V-32
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- 1 "B" Street Streetscape and Edge Condition - Figure V-33
- 2 Village Neighborhood PA5 (MHDR) - Greenbelt, Open Space, Recreation PA6/Santa Ana River Edge Condition - Figure V-43
- 3 Downey Street Streetscape and Edge Condition - Figure V-28
- Open Space/Trail Monumentation - Figure V-24



V. DESIGN GUIDELINES

NOTE: ALL FIGURES FOR SECTION V, DESIGN GUIDELINES, ARE CONTAINED IN TAB V-1, ARCHITECTURAL DESIGN GUIDELINES FIGURES AND TAB V-2, LANDSCAPE DESIGN GUIDELINES FIGURES.

A. Purpose and Intent

These Design Guidelines (Guidelines) are intended to establish the pattern and character of development within the Paradise Knolls Specific Plan (Specific Plan) in order to form an aesthetically cohesive environment. Specifically, the objectives for the Guidelines are:

- Provide clear direction to decision makers regarding the theming and intent of the Specific Plan, thus reducing the possibility of confusing interpretation and subjective decisions related to the Specific Plan implementation;
- Address residential and commercial product design, as well as residential, commercial, and open space landscape design, and community elements such as trails, walls, fencing, and parks;
- Establish a consistent design expression among site planning, architectural and landscape architectural components, while allowing reasonable flexibility in design;
- Create integrated neighborhoods, rather than a series of adjacent subdivisions;
- Reinforce the community's overall theme with a selection of four (4) specific architectural styles, climate/regionally appropriate landscaping, as well as the incorporation of rock material found on the site into the community elements;
- Establish a strong sense of community with shared community spaces, regional and community trail systems, a hierarchy of monumentation, and quality architectural designs;
- Provide Project continuity and compatibility with surrounding uses through site planning, building design, street design, landscaping and other design elements that will endure for the life of the community; and,
- Provide for a range of housing products that are responsive to local needs and market demands.

The Guidelines provided within this Section of the Specific Plan are intended as a living document. They may be subject to modification over time so as to allow for response to unanticipated conditions, such as changes in trends, community desires, and the marketplace. Interpretations will be left to the discretion of the Director of Planning, with an understanding that the intent rather than the letter of these Guidelines shall be the goal for implementation.

B. Introduction

These Guidelines are comprised of elements that define the design concept, physical character, and theme of the Specific Plan. The principal components of this section are Architectural Design Guidelines and Landscaping Design Guidelines.

The *Architectural Design Guidelines* are intended to provide a basis for decisions regarding the structural environment to be built, and include standards for site planning, product layout, and development. These Guidelines also show the relationship of residential products to one another as well as surrounding land uses. In addition, a high-quality living environment is influenced by site planning, architectural theme and details, building mass and scale, materials and color, and articulations. By defining these elements, assurance is provided that the homes and other buildings constructed in the Specific Plan will have a distinctive identity and be high quality.

The *Landscaping Design Guidelines* are comprised of the key Project components such as a hierarchy of monumentation, streetscapes, edge conditions between on-site and off-site land uses, community walls and fences, developed and undeveloped parks, and regional and community trails. These Guidelines also present general requirements relating to the plant palette and ensure that they are compatible with the community design theme. Additionally, the *Landscaping Design Guidelines* set forth minimum standards for the percentage and spacing of shade trees in certain areas of the Specific Plan. The elements presented throughout the *Landscaping Design Guidelines* are intended to unite Project components such as residential, recreational, and mixed-use uses under a common design vocabulary.

1. Community Theme

The vision for the construction of a new residential community at Paradise Knolls is based on the inherent beauty of the land and in the context of a residential life style enhanced with rural features, natural materials, and architecture that perpetuates the timeless family atmosphere of Jurupa Valley. The presentation of new homes and recreation will take full benefit from the views and river orientation while respecting the adjacent established neighborhoods and circulation patterns of the City. The focus of the vision is not that it is new, but rather that it will be an attractive part of the City to live in.

Although the design and mix of residential types may vary by neighborhood and by location, all future neighborhoods will be required to have the following common characteristics:

- A diversity of architectural styles.
- Attractive, green, walkable streets that provide a safe environment for pedestrians, bicyclists and children.
- A public amenity in near proximity such as a park, trail or equestrian center.
- Comfortable walking and biking access to a neighborhood commercial center with basic commercial amenities such as shops, markets and restaurants.
- A street network designed to provide alternative routes within the neighborhoods, which also connect to adjoining neighborhoods and corridors for walking, biking and short car trips.

Neighborhoods with these simple, timeless characteristics have generally proven to be the most desirable living environments in cities throughout California over the past century, holding their value through economic downturns and enjoying multiple cycles of reinvestment and renovation. The conventional, automobile- oriented residential development patterns that have been prevalent in recent years in the Southern California – such as those long blocks, cul-de-sacs, treeless walled arterial streets and limited connectivity to adjoining neighborhoods and amenities – do not support the active, healthy lifestyle that Jurupa Valley envisions for its future.

The edges of the Specific Plan area will be landscaped with generous parkways that are framed with existing mature trees preserved and harvested from the site. The sense will be that these new

homes have been there for a long time. The other key feature is an equestrian trail highlighted with friendly fencing that carries a clear sense of rural outdoor lifestyle and connectivity to surrounding trails and river corridor resources.

Within the perimeter buffering, the homes will be formed with a variety of traditional shapes and a mixing of materials. Building elevations and roof lines will vary and setbacks are articulated with thematic landscaping. There will be no one style, but rather a mix of "Americana" and "Ranch" themes that support a full range of sizes. Again, the transition to the adjacent existing neighborhoods will be made with the specific placement of predominate larger lots on the perimeter, transitioning to smaller homes adjacent to the Project's interior recreation amenities. The commercial retail will be a landmark at the entry and a core of service for the nearby multifamily homes and apartments, the remainder of the Specific Plan, and the community at large.

The landscape materials will be anchored with indigenous materials of rock, aged metal, wood, and plantings of distinctive, low maintenance, drought resistant/water efficient plantings. The clustering of plant materials will suggest an aged look and a complement any preserved or relocated mature trees on the site. Certain signature areas will reinforce and complement the riparian vegetation of the Santa Ana River.

The entry will have vertical features and signage that will be framed with meandering walls constructed of stone materials born of agrarian styles and function. Noise attenuation features (i.e., block walls) along Limonite will be minimized, to the greatest extent possible, by grade separating the homes, mature trees, and use of thematic landscape features.

Paradise Knolls will present its comfort to the entire community, with a friendly invitation to enjoy its public parks and trails. There is a direct path to the river in the main entrance and looping trails cross the land. The overall Project shall be themed as "River Ranch Trails."

C. Architectural Design Guidelines

This Section sets forth guidelines for the residential and non-residential architectural components of the Specific Plan. In conjunction with the Landscape Design Guidelines, the Architectural Design Guidelines are intended to guide the development of a cohesive and attractive community. This section establishes site planning guidelines; in addition, this Section identifies the key architectural styles associated with each residential product type and architectural “elements” that should be considered in all residential and non-residential development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the community’s “River Ranch Trails” theme while allowing for flexibility in design.

Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize the guidelines in order to maintain design continuity throughout the community. Because of the evolving nature of architectural styles, the community’s identity will be expressed primarily through landscape, hardscape, and community elements such as entry monumentation. Architecture allows individual developers to utilize styles that are consistent with and complimentary to these features.

The primary goal of the Specific Plan is to develop residential, commercial, and recreational structures that exhibit excellent design. The Specific Plan also strives to provide a variety of housing opportunities in an array of architectural themes and styles that are consistent with the overall community theme. A collection of architectural themes and styles will add to the character of a neighborhood by creating visual interest. Architectural variety should be created by combining building materials, colors, and textures in conjunction with architectural features (e.g. roofs, windows, doors, façades, trim) rather than by designing buildings that vary greatly in architectural style.

1. Residential Site Planning Design Guidelines

Design of residential sites within the Specific Plan is an essential component of the land use plan. Specific standards and criteria are provided for each residential development type to address setbacks, pad sizes, lot coverage, and encroachments. Figures V-1 through V-10 illustrate these concepts and offer information regarding placement of residences within the community. Each

figure contains a detail of the typical lot with a corresponding legend of specific residential site elements (i.e., porches, patios, garage, dwelling space, etc.) for that lot. These are the recommended housing opportunities; however, the Director of Planning may allow for other housing opportunities not listed below that will create the desired aesthetic of the Specific Plan within the referenced Planning Areas.

a. Single-Family Detached: Traditional – Large Lot

Single-family detached: traditional – large lot homes on ½-acre lots are allowed within Rural Neighborhood (PA4). Homes within this Planning Area shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-1, *Single-Family Detached: Traditional – Large Lot*.

b. Single-Family Detached: Traditional

Single-family detached: traditional homes are allowed within Traditional Neighborhood (PA1). Homes within this Planning Area shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-2, *Single-Family Detached: Traditional*.

c. Single-Family Detached: Paired Homes

Single-family detached: paired homes are allowed within Traditional Neighborhood (PA1) and Village Neighborhood (PA5). Homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-3, *Single-Family Detached: Paired*.

d. Single-Family Detached: Narrow/Deep

Single-family detached: narrow/deep are allowed within Traditional Neighborhood (PA1) and Village Neighborhood (PA5). Homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-4, *Single-Family Detached: Narrow/Deep*.

e. Single-Family Detached: Cluster (Garden Court)

Single-family detached: cluster (garden court) homes are allowed within Multi-family Neighborhood (PA2) and Village Neighborhood (PA5). Cluster (garden court) homes are single-family detached homes grouped around a private lawn area. It is the intent for these units to have individual owners with a common maintenance entity (i.e., HOA). Each unit possesses its own entryway, driveway, and garage. Cluster (garden court) homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-5, *Single-Family Detached: Cluster (Garden Court)*.

f. Single-Family Detached: Cluster (Motor Court)

Single-family detached: cluster (motor court) homes are allowed within Multi-family Neighborhood (PA2) and Village Neighborhood (PA5). Cluster (motor court) homes are single-family detached homes grouped around a common private drive which accesses the garages as well as the front doors. It is the intent for these units to have individual owners with a common maintenance entity (i.e., HOA). Cluster (motor court) homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-6, *Single-Family Detached: Cluster (Motor Court)*.

g. Multi-Family Attached: Duplex/Triplex Homes

Multi-family attached: duplex and triplex homes are allowed within Traditional Neighborhood (PA1) and Village Neighborhood (PA5). Duplex and triplex homes are multi-family homes plotted with 2 and 3 units per building, respectively. Garages are loaded onto private drives. It is the intent for these units to have individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA). Rear-loaded duplex and triplex homes within these Planning Areas shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-7, *Multi-Family Attached: Duplex/Triplex*.

h. Multi-Family Attached: Townhomes

Multi-family attached: townhomes are allowed within Multi-family Neighborhood (PA2). Townhomes are multi-family attached row homes that typically have the garages located in the rear of the building. It is the intent for these units to have individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA). Buildings are oriented with either the front or side elevations facing the circulating private roadways. Townhomes shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-8, *Multi-Family Attached: Townhomes*.

i. Multi-Family Attached: Courtyards

Multi-family attached: courtyards are allowed within Multi-family Neighborhood (PA2). Courtyards are multi-family attached row homes that are grouped around a common private drive or along the drivelane, which accesses the garages. It is the intent for these units to have individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA). The front doors are accessed via the courtyard which is internal to the courtyard product. Courtyards shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-9, *Multi-Family Attached: Courtyards*.

i. Multi-Family Attached: Stacked Flats, Live/Work or Residential over Retail

Stacked Flats are allowed within Multi-family Neighborhood (PA2). Stacked Flats are multi-family homes that typically consist of single-level units stacked above one another, but a portion of the units may also be multi-level in an interlocking configuration. Garages are typically located on at least two sides of the building. Stacked Flats shall be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-10, *Multi-Family Attached: Stacked Flats and Live/Work or Residential over Retail*. It is the intent for these units to be under a single common ownership; however, individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA) may be permitted.

Residential homes located over retail may be developed in accordance to the guidelines, including the residential site elements, provided on Figure V-10, *Multi-Family Attached: Stacked Flats or*

Live/Work and Residential over Retail for Neighborhood Commercial (PA3). It is the intent for these units to be under a single common ownership; however, individual owners (i.e., condominium) with a common maintenance entity (i.e., HOA) may be permitted. Live/Work shall be permitted in Multi-family Neighborhood (PA2) and Neighborhood Commercial (PA3).

2. Architectural Styles

The architectural styles of the residential homes and non-residential structures within the Specific Plan are intended to complement and reinforce the community theme of “River Ranch Trails.” As described above, a variety of architectural styles is pivotal to creating a high-quality community. The Specific Plan will feature five unique architectural styles that adhere to the overall community theme. The architectural styles for the Specific Plan community include American Farmhouse, California Ranch, Craftsman, and Prairie.

Developers, builders, engineers, architects, landscape architects and other design professionals will be required to use the guidelines in order to maintain design continuity, create an identifiable image, and develop a cohesive community. The following descriptions and referenced graphics provide an overview of the general architectural styles desired for the Specific Plan.

Again, it should be emphasized that individual character and interpretation are encouraged and it is not the intent that all of the following represented design components be incorporated into the design proposals. These examples are only conceptual in nature and do not necessarily depict the actual final design. Finalized floor plans and elevations will be determined at a later stage of development, although suggested floor plan concepts for the various lot programs are shown. Conceptual plans developed for the housing programs are required to be submitted for review by the design review team administered by the master developer. Upon approval of the conceptual plans by the master developed, designs will be reviewed by the City using the standards contained within the Specific Plan prior to approval of the design drawings and construction documents.

The visual graphic examples and accompanying descriptive text on Figures V-11a through V-14b are the required elements that shall be provided on the architectural styles constructed in the Specific Plan. While these elements are required, some additional latitude may be provided to the

developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the various architectural styles.

Section C. 3. (a-h) of this section of the Specific Plan (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within the Specific Plan. These criteria will also apply to the architectural styles.

3. Residential Criteria

a. Building Mass and Scale

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building façades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of street friendly and pedestrian scale architecture, which will be used throughout the Specific Plan. Attention to front yard setbacks, building types, and architectural styles will help to provide variation in the mass and scale of buildings. Every opportunity should be considered to improve the visual relationship between adjacent buildings.

1. The development of one-story elements along neighborhood streets and at street corners shall be designed to allow the residence to step back from a given edge and provides for a manageable scale.
2. A single-story architectural element within a two-story building shall be used to lessen the appearance of the building mass. In addition, a combination of one- and two-story building can be plotted to created variety in the streetscene.
3. Units located at street corners shall have the single-story portions of their mass plotted towards the exterior side yard. The offsetting of second story elements away from the property line is required, which improves the appearance of the front and side yards. To achieve this desired effect, the second-story should be set back in relation to the garage face below it.
4. Multi-family housing clusters shall also be sensitively sited in order to maximize views and respond to site opportunities and constraints. To avoid a “canyon effect” appearance, architectural articulation or a second-story setback shall be used to create visual interest between the two buildings.



b. Building Materials and Colors

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style as depicted in Figures V-11b through V-14b, *Architectural Details*. The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. The selected architectural styles for the Specific Plan allow for a diversity of colors and materials.

1. **Colors** shall be as authentic to the style as possible when compared to the traditional color palette of the selected style.

2. Consideration shall also be given to **colors available in the contemporary market**. In general, acceptable materials and colors include:
 - Earth-toned colors.
 - Colors that appear indigenous to the environment.
 - Materials should also be indigenous in appearance to the environment, such as stone or stucco.
3. **Material breaks, transitions, and termination** shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers Figure IV-14, *Material Breaks and Transitions*.
4. **On contiguous lots**, structures with the same or similar colors of stucco will not be permitted. This will avoid a monotonous appearance of multiple buildings of the same colors and tones.

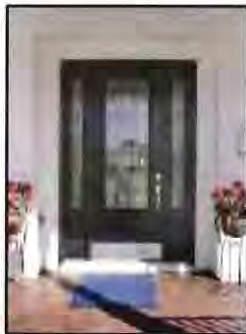


c. Windows and Doors

As shown in Figures V-11b through V-14b, *Architectural Details*, window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

1. **Entrances** shall be clearly defined and inviting.

2. **Window glass** shall be inset from the exterior wall surface and/or provided with dimensional trim to provide a sense of depth.
3. **The placement of windows** is especially important on higher-density residences, and the privacy of adjacent residences should be considered when locating windows. Windows shall be staggered on adjacent homes to create a greater sense of privacy.
4. **Window frames, mullions, awnings, and door frames** are encouraged and should be color coordinated with the rest of a building. Architectural projections and recesses, such as pop-out windows and doors, shutters, and pot shelves, shall be used to achieve articulation and shadowing effects.
5. **Front entries** shall be articulated through the use of roof elements, porches, columns, arches or other architectural features.
6. **Window details** create an opportunity to provide contrasting trim colors. Multi-lite windows, clerestories, paned/side-lite doors, and shutters are encouraged where appropriate to the architectural style of the home.



d. Porches and Balconies

As shown in Figures V-11b through V-14b, *Architectural Details*, the incorporation of front porches and/or front and rear balconies as part of the architectural vocabulary is required for both aesthetic and practical reasons. Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches add an element of personal scale and ambiance, where neighbors can socialize with one another.

1. The use of **front porches with a minimum usable width** of 5.0 to 6.0 feet is strongly encouraged along local and residential streets. This is an important design feature that is appropriate and shall be in proportion to the particular architectural style utilized.

A **porch rail** should be included to define the space and add architectural detail to the porch and the front elevation of the house. Railing shall be provided in accordance with the authenticity of the particular architectural style, as depicted on Figures V-11b through V-14b, *Architectural Details*.



e. Columns and Posts

Columns and posts are important design components in many of the suggested architectural styles for the Specific Plan, and are often signature elements of a particular style. Columns and posts, as appropriate to the respective architectural styles, are depicted on Figures V-11b through V-14b, *Architectural Details*.

1. These elements shall be **incorporated** as structural and aesthetic design elements and shall be dimensioned appropriately so that a solid and durable image is conveyed.
2. The **scale and dimension** of these elements will vary depending upon the architectural style and shall reflect the selected style when they are introduced in the design proposals.



f. Garages

In a society geared toward the automobile, the automobile's housing needs have come to be the predominant architectural element in many neighborhoods. To avoid this, the Specific Plan requires that garages do not detract from the overall appearance of the residence. To achieve an attractive streetscene, particular attention be given to the design, placement and orientation of garages in all residential neighborhoods, as shown in Figures V-11b through V-14b, *Architectural Details*. While maintaining an awareness of the contemporary market and the targeted market segment, every effort is expected to minimize the impact of the garage on the residential neighborhood.

1. Depending upon lot size, the following **methods** shall be utilized, to include, but not be limited to:
 - Side loaded, swing-in, or rear-loaded orientations.
 - Garage setbacks greater than the front yard living area setback.
 - Splitting garages on the opposite sides of the residence.
 - Rear of lot garage placement with driveway access from the front of the lot.
 - Tandem garages for third cars.
 - Garage door design considerations that include recessed doors, creative panel design, windows, and color.
 - A porte-cochere architectural element.
2. **Garage doors** are a major visual element and shall be simple in design.
3. **Garage door design** shall reflect a slightly recessed door and individual bays should be provided, which are offset and separated from one another. This will eliminate visually extensive garage door façades.
4. **Three and two car garage configurations** can be divided into two/one and one/one configurations to allow for entry courts and auto arrival courts.
5. **Accent colors** shall be used to compliment the architecture and provide visual variety along the streetscape.
6. Where provided, **garage door windows** should correspond to the window forms of the house.

7. **Landscape vines and tree wells** should be introduced to soften the visual impact of the garage door and accent the garage façade.
8. **Avoid** having homes side by side that have the **identical garage placement**.

g. Rear and Side Articulation/Facade Treatment

The design consideration and treatment of the rear and side facades of residential buildings, particularly those facing onto community streets, parks, and open spaces, has become recognized as an important element in the success of a community's visual character and environment.

1. For interior and side yards, it is desirable to **create the appearance of increased building separation** whenever possible. Problems occur when setbacks are not varied or when second story elements are not offset. These conditions allow little light to penetrate between buildings and create the effect of a "canyon" within the side yards. In many cases, side yard slopes result in both vertical and horizontal separation that is sufficient to mitigate this concern. Where side yard slopes do not exist, one or more of the following solutions shall include, but not be limited to:
 - Side elevations shall be varied by stepping back the second-story at the side yard. This allows more light to penetrate and gives architectural interest and variety to yards. This can also be achieved by offsetting the garage in relationship to the balance of the unit.
 - By providing single-story elements in the side-yard, such as a breezeway, porch, or single-story room off to the side of the structure that is only one-story in height, you create relief of the second-story massing.
 - Reducing the roof height over an interior volume will increase variety and light penetration to the side yards. On the interior, this could be a cathedral ceiling, which would enhance the interior as well.
2. All **rear elevations** required to have several enhancements to avoid the repetitious effect and avoid a monotonous visual appearance. Potential solutions to this issue are outlined below:

- The overall look of an extensive row of residences shall be modified by enhancing elevation window trim and placement. Giving variety to the windows on the facades gives variety to the overall streetscape.
 - It is required to vary roof conditions from one building to the next through use of varied roof pitches and forms, different architectural styles, and varied lot setbacks.
 - By articulating the rear elevation plan form, variety is given to the overall appearance. Architectural projections, balconies and trellises, and varied elevations contribute to the articulation of the form.
 - Two-story homes that back to major roads shall have visible elements such as window trims, varied stucco applications, shutters and enhanced details.
3. All residential buildings that face an adjacent street shall have **articulated elevations**. Articulation should be achieved with porches, balconies, or bay windows, or other features appropriate to the architectural style of the building. Street facing elevations on attached products shall have additive or subtractive architectural elements to help break up the mass of the building facade. Examples of additive elements include dormer windows, porches, bay windows, exterior stairs and similar features. Examples of subtractive elements include carved openings, niches, recessed windows and doors and similar architectural design features.
4. In addition, **two story homes** shall include both one- and two-story elements as a part of their architectural design. For each floor plan, varying elevations shall be provided to create visual interest and a varied neighborhood street scene. Where similar floor plans of the same unit are located on adjacent lots, one shall be a reverse plan and different in elevation from the other of the same plan.



h. Roof Materials and Colors

As shown in Figures V-11b through V-14b, *Architectural Details*, the roofline of a house is a significant component of a building's composition when used to define a particular architectural style. It is important to choose the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style.

1. A **roof's composition** shall allow for a clean interface with the building and the building façade.
2. The two elements should not be **overbearing** nor give the appearance of being disjointed or cut-up.
3. **Varying roof pitches** on the same building shall be avoided unless they are integral to the architectural style or extending over porches and balconies.
4. **Roof materials and colors** selected for an architectural style must reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character.
5. **Roof colors** shall vary from one house to the next, and roofing materials shall be non-combustible.



i. Accessory Structures

1. **Accessory structures** (cabanas, storage sheds, etc.) shall have roofs of similar and/or compatible materials as primary/major structure.
2. It is not intended that **guest houses or secondary dwelling units** will be permitted within the Specific Plan.

3. There is **no minimum roof pitch** required for accessory structures.
4. The **design of accessory structures** shall be compatible with the main structure through the use of architecture, fence connections and/or landscaping.
5. **Recreational vehicles and trucks** shall be stored in an enclosed area and out of view of any adjacent lot or road.
6. **Solar panels**, if used, shall be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass.
7. To the greatest extent possible, **solar panels, satellite dishes, and other similar roof-mounted mechanical equipment** should be located away from front elevation street views.
8. **Skylights** can be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color. Natural aluminum frames are not allowed.

D. Commercial Architectural Guidelines

Neighborhood Commercial (PA3) is approximately 2.2 acres in area and will allow up to 30,000 square feet of commercial retail uses. This area will provide local support services to the residents of the Specific Plan, as well as convenience to those in proximity to the Specific Plan. It is the intent to create an interesting area with opportunities for shopping, entertainment and social. Careful consideration has been given to the architectural design guidelines. -The ultimate overall theme of the commercial area shall serve to further define and reinforce the fabric and motif of the prior developed portions of the Specific Plan. Architectural Guidelines, which serve to define the "River Ranch Trails" theme for the Project, are detailed in Section V.4.D.2.

1. Site Planning Design Guidelines

These site planning guidelines for the commercial retail portion of the community are not intended to restrict taste or preference but are designed to avoid harsh contrasts and to foster harmony of development. For example:

- a. Within parking lots, all ingress and egress locations should be designed to reduce impacts on the existing circulation system.
- b. Large open parking lots should be divided into smaller, less imposing lots.
- c. Free-standing buildings are encouraged to be grouped around a common focal point or design feature.
- d. Open areas should be large enough to be usable, but not so large as to appear empty. Fifteen feet to thirty feet is generally appropriate.

a. Streetscene

This portion of the community must provide adequate separation between parking and storefronts to allow for comfortable pedestrian spaces. The following concepts shall be incorporated into the mixed-use buildings and commercial retail stores:

1. The **distance** along the face of the building should be varied to provide visual interest.

2. **Awnings** shall be encouraged to promote interest and a human scale.
3. **Loading zones** shall be site planned to avoid exposure to adjacent streets, highways and residential uses.
4. Incorporating walls and fences can also be used to help **screen areas**.
5. **Exterior storage areas and trash enclosures** shall be planned in such a manner to minimize the exposure of such elements to sensitive adjacent uses.
6. **Parking areas** shall be planned in such a manner to allow for landscaping or low, decorative walls or a combination thereof. Where possible, buildings should be designed to separate service and delivery circulation from parking areas.



b. Building Plotting Concepts

Buildings should be oriented to take best advantage of arterial visibility. More pedestrian oriented uses shall be located within the boundaries of the Specific Plan; whereas, more auto oriented uses may be located closer to the easterly portion of this PA, adjacent to Limonite Avenue. At a minimum, buildings located within the commercial area shall address a street or main drive lane, a required pedestrian path, a vertical landmark element, a small plaza or other focal point. Where structures areas are adjacent to water, buildings and courtyards shall be oriented to maximize visual and physical access to water. Buildings will be designed to locate high activity uses, such as restaurants and entertainment facilities, adjacent to major pedestrian ways. Buildings shall be oriented toward activity centers, shopping and entertainment areas, and gathering spaces. Buildings shall frame the street/drive lanes with the front of the buildings located adjacent to the vehicular and pedestrian pathways.

Building masses should be articulated to avoid long straight building facades and create enclosed courtyards and pedestrian spaces where possible. Examples of ways to articulate mixed-use buildings and commercial retail stores are:

1. Buildings should be designed to create **smooth transitions in scale** through the use of low and mid-rise building forms or through the use of terraced elevations.
2. **Arcades and trellises** can be used to connect buildings and enclose courtyards.
3. **Vertical mass** at residential edges should be minimized.

The commercial portion of the Project will be designed as a complementary addition to the overall theme established throughout the community, as conceptualized in Figures V-16.a-c., *Commercial Retail*. This is discussed in further detail below in Section D.2.

The plotting of buildings shall take into account shade elements and maximize shade created by surrounding buildings. In addition, any development shall comply with the requirements set forth in Section V.E.2, *Shade Standards*.



c. Vehicular Circulation/Parking

Entry areas provide an open window orienting to a focal element of the development by providing distinguishing characteristics, including, but not limited to: enhanced landscaping, a monumentation, and textured paving, as sense of arrival at a unique place is firmly established. Positive public image features, i.e. water fountains or sculptural art, or dramatic landscape

elements, i.e. tree masses, will be located at key focal points and will serve to enrich the character of the urban village. The exact number and locations of these items will be determined when the comprehensive plan is established with the Plot Plan.

1. When planning the interior vehicular circulation and parking, a **hierarchy** should be developed to help with traffic flow; however, the top priority must be given to the pedestrian in the ultimate design. The needs of the pedestrian are further elaborated upon below.
2. Adequate areas for **maneuvering, loading, and emergency vehicle access** shall be accommodated on site.
3. **Screening** shall be provided for both aesthetic and functional (i.e., noise, odors) purposes.

Landscaping shall be incorporated to soften the impact of paved areas. This will be accomplished through the use of elements such as, but not limited to: shading, accents and other green elements.

1. **Parking aisles** shall be oriented perpendicular to complexes to allow for easy pedestrian walkways to access shopping.
2. **Large parking lot areas** should be divided into a series of smaller connected lots separated by additional landscaping.
3. **Low freestanding walls** incorporating simple, tasteful signage with pilasters, balustrades, finials and other embellishments are desirable around and within the parking areas to provide an aesthetic and screening purpose.
4. **Parking areas** will be located to provide convenient access to commercial and office areas and minimize impacts to residential areas.
5. Residential and non-residential parking shall be **exclusive** of one another.
6. **On-street parking** should be oriented to the front of the buildings.
7. **Parking lots** should generally be placed away from the street, preferably behind buildings.
8. **Parking areas** should be arranged to minimize conflicts with commercial loading activities.
9. If **parking structures** are used, the ground floor should be accessible to retail and other pedestrian-oriented uses.

10. **Parking structures** shall be integrated into the mixed-use area to achieve function and an appropriate aesthetic.



d. Pedestrian Circulation

Different uses shall be interconnected by a strong pedestrian circulation system and interconnected by paseos, walkways and sidewalks, hardscape, and landscape. Parking shall not dominate the experience along any designated pedestrian path and off-street parking should be traversed by landscaped areas.

1. **Pedestrian access** to and from PA3 is provided by sidewalks located along Limonite Avenue and Beach Street Entry Road.
2. Exact **locations** shall be determined at the Plot Plan stage of development and a comprehensive pedestrian plan shall be developed.
3. **Pedestrian access** shall be provided between from any potential transit stops.
4. **Pedestrian crossing distances** at driveways shall be minimized.
5. **Raised medians** shall be used to separate ingress and egress lanes and pedestrian islands shall be required.
6. Additionally, **walkways** shall meet the following minimum standards:
 - Whenever possible, walkways should follow an alignment that connects building entries and should be at least 8.0 feet wide.
 - Whenever connecting walkways pass through parking lots, these walkways should be at least 5.0 feet wide (excluding car overhangs) with trees planted at least every 36.0 feet.

- Walkways/pedestrian crossings should consist of special pavers or scored concrete with modules that generally should not exceed 3.0 feet in width, but may be allowed if included in final landscape design plans.



e. **Common Space Elements**

Site furnishings and details that enrich the appearance of the commercial area shall be provided. As an example, seating areas shall incorporate umbrellas within commercial areas or plazas. Other acceptable examples of detailing include the incorporation of many of the following elements: the use of pottery, tree grates, detailed lighting fixtures, and/or wrought iron embellishments. Accent colored canopies and unique business identification signs are also desirable. Outdoor seating areas are discussed in detail in Section V.D.3.g., *Plazas, Public Art, and Views*.

In addition, the following common space elements shall be integrated whenever feasible:

1. Prominent and/or unique architectural elements shall be positioned as the **focal points** in the development.
2. **One and two-story building massing** shall occur. False second-story elements can be incorporated to provide for variation in building massing and reinforce the enclosure of public spaces and plazas.
3. Consideration shall be given to locating the **upper floor facades** behind the setback from the first floor facade to provide relief in the building plane and provide for outdoor covered walkways, balconies, etc.

4. **Accent materials** such as stone and brick, accent colors, door and window details, and other architectural enhancements shall occur along the first floor/pedestrian level along all publicly visible facades.
5. **Retail/commercial buildings** fronting major public streets must have a high level of architectural detail and enhancement. Rear facades facing onto parking lots shall be enhanced to address the retail use/shop use within. Rear entrances to shops and pedestrian paseos passing through buildings from the rear parking lots shall be architecturally enhanced, easily visible and inviting.
6. **Storefront signage** is required along rear facades facing onto parking lots and/or public spaces (as well as front facades facing streets and plazas).
7. **Substantial variations** in massing shall include changes in height and horizontal plane.
8. **Horizontal masses** should not exceed a width: height ratio of 3:1 (i.e. shall not be longer and flatter) without a substantial vertical architecture element that either projects up or away from the building, such as a tower, bay, lattice, or other architectural feature.
9. **Pedestrian friendly spaces** and scale shall be incorporated. Outdoor seating areas, as discussed in 3.g. below shall be provided.
10. **Building forms** that vest and define visually interesting interior and exterior spaces shall be created where appropriate.
11. **Different heights** can be used to communicate different uses or shops.
12. **Bay windows and stepped buildings** also create added visual interest and relate directly to the pedestrian environment.
13. **Awnings** shall be encouraged to promote interest and a human scale.
14. **Covered trellises, or shaded arcades, pergolas, porticos or overhanging eaves** attractively connect varied masses and create a more comfortable experience along pedestrian routes.
15. **Major building entries** shall be emphasized with special massing and/or architectural treatment.
16. **Higher tower elements** or similar features are required at focal points, such as plazas, major entrances, or where walkways meet streets. They shall be at least 45 feet (45') tall

and no more than 70 feet (70') tall. Cell towers shall be incorporated into the elements as much as feasible.

17. Large flat wall planes and the use of repetitive elements shall be **avoided**.
18. A range of **roof forms and pitches** shall be used to add visual interest to the community streetscape.
19. A mix of **one- and two-story components** shall be used along with the use of focal vertical elements where possible.
20. The use of **natural materials** (stone, slate, etc.) shall be incorporated to provide texture and scale to wall surfaces.
21. **Material changes** shall not occur at external corners, but shall occur at "reverse" or interior corners or as a "return" at least two feet from external corners.
22. Glass curtain wall construction and reflective glass are **discouraged**.
23. **Building facades** shall not be monotonous or have a flat, shadow-less appearance on any facade highly visible from a street or main gathering area.
24. **Buildings shall be clustered** to optimize open space and create areas for gathering places; highlight landscape amenities; and create effective pedestrian connections.
25. **Structures, landscape, and hardscape** shall be designed to create views into the commercial center establishing a sense of arrival.
26. **Freestanding buildings** shall be located close to the street to create an attractive and pedestrian friendly environment.
27. **Primary pedestrian entries** shall be clearly expressed or recessed by a sheltering element such as an awning, arcade, porch, pergola or portico.
28. **Special architectural features**, such as bay windows, decorative roofs and miscellaneous entry features may project up to three feet into front setbacks and public right-of-ways, provided that they are not less than 8.0 feet above the sidewalk.
29. **No wall** shall have a blank, uninterrupted length exceeding 30.0 feet without including one of the following: change in texture, change in plane, window (excluding clerestory windows and glass block), lattice, tree or equivalent element.

30. **Facades** that are visible from adjacent streets or walkways shall display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, porticos, pergolas, and other architectural features.



2. **Commercial Architectural Style**

The commercial retail portion of the Specific Plan shall be thematically and visually compatible with the overall community theme of “River Ranch Trails.” The commercial retail will be a landmark at the entry and a core of service for the nearby multifamily homes and apartments, yet serving the remainder of the Specific Plan and community in general. A palette of materials and colors will provide character and identity for the commercial area. The natural or manufactured materials and colors used shall reflect the general theme established in the prior phases of the Specific Plan.

3. **Commercial Criteria**

a. **Materials and Colors**

A palette of materials and colors will provide character and identity for the commercial area. The natural or manufactured materials and colors used shall reflect the general theme established in the prior phases of the Specific Plan. The following Guidelines shall be implemented:

1. **Primary building colors** shall use a combination of earth tones and light colors; bright colors shall be used sparingly.
2. **Varied shades** of colors shall be utilized to break up facades and should ideally feature darker-toned colors and materials at the base.

3. **Accent colors and materials** are acceptable if they are a complementary contrast with the surroundings and are used for creating interest.
4. **Traditional materials**, including stone, brick, concrete, precast concrete, metal, block, and stucco, shall be used creatively to provide a sense of permanence, as long as they support the overall Project theme.
5. **Natural materials and textures** as architectural accents is strongly encouraged.
6. **High-quality and visually complementary manufactured materials** (i.e., synthetic materials) also can be used for practical purposes (aesthetics, durability) and shall be of integral color of that specific material.

b. Roof Forms and Materials

The following Guidelines shall be implemented within the commercial portion of the Specific Plan, as they pertain to roof forms and materials:

1. **Roof material** shall ensure continuity in texture, color and character to the architectural styles.
2. **Roof lines** shall be articulated with shorter elements to reduce building mass.
3. **Sloped roof forms** shall be introduced over special areas and special functions to create visual interest.
4. **Interesting building masses** shall be created by varying rooflines and by maximizing offsets to roof planes where possible.
5. **Combining elements** (single-story elements with two-story elements) is encouraged.
6. **Flat roofs with parapet walls** are acceptable but should also be used in combination with simple pitched gable, hip or shed roof forms.
7. **Mechanical equipment** on roofs shall be screened from view of highways and roadways, with materials consistent with those of the building.

c. Storefronts, Windows and Doors

The storefront on the ground floor is a key element in creating a successful pedestrian environment. The following Guidelines shall be implemented as they pertain to storefronts, windows and doors:

1. **Windows and doors** shall be recessed from the front facade to emphasize the mass and integrity of the wall and to create a dramatic shadow line.
2. **Storefront windows** typically project out from wall surface and are multi-lite.
3. **Second floor windows** are typically wooden sash, double hung, traditional windows. Window shutters are optional.
4. **Glazed areas** of the storefront should be between 70% and 80% of the ground floor façade.
5. **Patterns of openings** should correspond with the overall rhythm of the building and be in line with arcade and trellis openings.
6. **Interior building design** shall relate to pedestrian spaces through generous use of glazing in doors and windows.
7. **Front doors and entrances to buildings** shall be clearly defined and articulated by awnings, overhangs, and canopies and shall be easily recognizable from pedestrian and vehicular vantage points.
8. **Other enhancements** that are encouraged include: arched windows and doorways, decorative treatments, accent trim or tile at doorways, banded windows to emphasize the horizontal, glazing which follows roof pitch, canvas awnings with complementary accent colors, and wrought iron accents.
9. Silver or gold window or door frames, reflective glass or awnings, and metal awnings are all discouraged.



d. Balconies and Handrails

The incorporation of balconies and porches as part of the architectural style shall be provided for both practical and aesthetic value. The following Guidelines shall be implemented, as they pertain to balconies and handrails:

1. **Balconies and handrails** shall be used to integrate indoor and outdoor spaces, as well as break up large wall masses, and offset floor setbacks.
2. **Elements** which will be allowed include, but not be limited to: covered porches and balconies, smooth stucco or wood, simple, clean, bold projections, wood trimmed details, veranda style balconies with open railings, and wrought iron railings.
3. **Pipe railing** is allowed, as long as it is demonstrated that it is consistent with the architectural style.

e. Exterior Stairs

Simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the buildings. The following Guidelines shall be implemented, as they pertain to exterior stairs:

1. **Stairways** shall be constructed of smooth stucco, wrought iron, or simple wood railing.
2. **Clay tile or brick** can be used as tread, use of accent tile on riser, balustrades, and pilasters is encouraged.
3. **Exposed, untreated metal railings and stairs** are permitted, if it is demonstrated that it is consistent with the architectural style.

f. Columns

The following Guidelines shall be implemented, as they pertain to columns:

1. **Columns** incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms.

2. **Columns** may be used as a freestanding form or as a support for pedestrian links.
3. **Columns** should be made of materials such as simple square posts, square or round stucco, or freestanding plaster archways at entrance gates.
4. **Exposed pipe columns and thin posts**, such as metal pipe columns may be used if it is demonstrated that it is consistent with the architectural style.

g. Plazas, Public Art, and Views

Plazas serve as activity nodes and meeting places. In addition, plazas serve to enhance the overall character of the commercial area. The following Guidelines shall be implemented, as they pertain to plazas, public art and views:

1. **Plazas** are where high levels of pedestrian activity are expected. Such plazas shall be located adjacent to major entrances and food services such as delis, restaurants, coffee shops, and bakeries. These are the natural location for the plazas given the amount of anticipated pedestrian traffic. Reference Figure V-17, *Plaza Examples*.
2. **Plazas** shall be used to draw attention to distinctive features such as entrances, public art, fountains, or plantings.
3. **Building entries and windows** should look onto plazas to enhance activity and security.
4. **Outdoor** seating, tables and umbrellas, public art, water features, landscaping, gazebos, public art, or other features are encouraged in plazas and should be consistent with the overall community theme. Reference Figure V-18, *Outdoor Seating Area Examples* for more detail.



h. Outdoor Lighting

Lighting must be considered with the architectural theme (Prior to the approval of the first Plot Plan within this Planning Area, a master plan shall be developed and approved by the Planning Department. At this time, a specific architectural style shall be selected and approved), as well as for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas. Lighting shall comply with County of Riverside requirements. The following Guidelines shall be implemented, as they pertain to lighting:

1. **All outdoor lighting** (including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas) shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
2. **The interface between residential and non-residential uses** should have a balance between safety, aesthetics and function.
3. **Energy conservation, safety, and security** shall be emphasized during the designing and siting of Project lighting. Low intensity, energy conserving night-lighting is preferred.
4. **Light fixtures and standards** shall be coordinated along public rights-of-way.
5. **Light standards** shall blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture.
6. **Parking lot lighting** shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
7. **Parking areas** shall use lighting standards and fixtures that are consistent with and a continuation of the character of the community.
8. **Service area lighting** shall be contained within the service yard boundaries and enclosure walls.
9. **Light spillover** shall not occur outside the service area.
10. **Light source(s)** shall not be visible from the street.
11. **Freestanding lighting fixtures** shall not exceed 30 feet in height.
12. **Non-decorative wall-pacs and light standards** shall not be permitted.
13. **Exposed neon** shall not be permitted. All neon tubes shall be hidden from view.

i. Walls and Fencing

The following Guidelines shall be implemented, as they pertain to walls and fencing:

1. **Low freestanding walls**, incorporating simple, signage with pilasters, balustrades, finials and other embellishments shall be provided. These shall be provided in areas to include, but not be limited to: parking areas, edge conditions and other appropriate areas.
2. **Walls**, except for walls used to enclose loading docks and trash enclosures, should not be more than ten (10) feet in height. They should be constructed of light colored stucco, concrete, or masonry.
3. **Fences** should be used only as part of gated areas or as an extension of walls.
4. **Walls and fences surrounding commercial retail stores** shall not prohibit pedestrian access from adjacent residential areas.
5. **Chain-link fencing**, chain link fencing with barbed wire, large blank and flat wall surfaces, and exposed untreated concrete block walls shall be prohibited as perimeter fencing.

j. Service, Loading, and Equipment Areas

The following Guidelines shall be implemented, as they pertain to service, loading and equipment areas in order to ensure that these functional site items are integrated with a sense and respect of the surrounding aesthetic:

1. **Storage** for supplies, merchandise, and similar materials shall be prohibited on the roofs of any buildings.
2. **Merchandise, material, and equipment** are not permitted to be stored to a height greater than any adjacent wall, fence, or building.
3. **Service, loading, and storage areas** shall be separated from pedestrian and private automobile circulation.
4. **Service areas, loading docks, and equipment areas** shall be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments. A minimum treatment height of six feet is recommended.
5. **Outdoor displays of inventory** are acceptable for certain commercial retail stores. Any goods shall be placed in a manner that minimizes conflicts with pedestrians.



k. Refuse Containers and Storage

The following Guidelines shall be implemented, as they pertain to refuse containers and storage in order to ensure that these functional site items are also integrated with a sense and respect of the surrounding aesthetic and acknowledgement of the potential olfactory conflicts that may arise:

1. **Trash enclosures** shall be located away from residential uses to minimize nuisance to adjacent properties.
2. **Refuse enclosures and equipment** shall be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure.
3. **Enclosure design** shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
4. **Landscaping or trellis work** shall screen enclosures visible from a street or connecting walkway and shall be permanently maintained.
5. **Cart storage areas** (if applicable) shall be integrated within the initial building and site design.
6. **Large freestanding enclosures or unscreened "cart corrals"** are not encouraged but shall be allowed if they are constructed as a permanent structure and architecturally consistent with the district theme and include landscape treatment such as vines or planters.
7. **Outdoor storage areas** shall be located away from the street, behind or to the side of buildings.
8. **Walls** shall be used to screen stored materials.



I. Signage

The signage plan for the Specific Plan is directed towards creating an aesthetically pleasing development. These Guidelines encourage a harmonious blending of architecture and signage on adjacent buildings throughout the mixed-use area. Artistic flexibility is allowed; however, signage shall maintain continuity and be of appropriate scale to the community as a whole, and reinforce the “River Ranch Trails” motif. Signs are a means to advertise and identify places, events, and businesses within the Specific Plan. Well-designed signs are not only pleasing in appearance, but can enhance the economic value and accessibility of a shopping area.

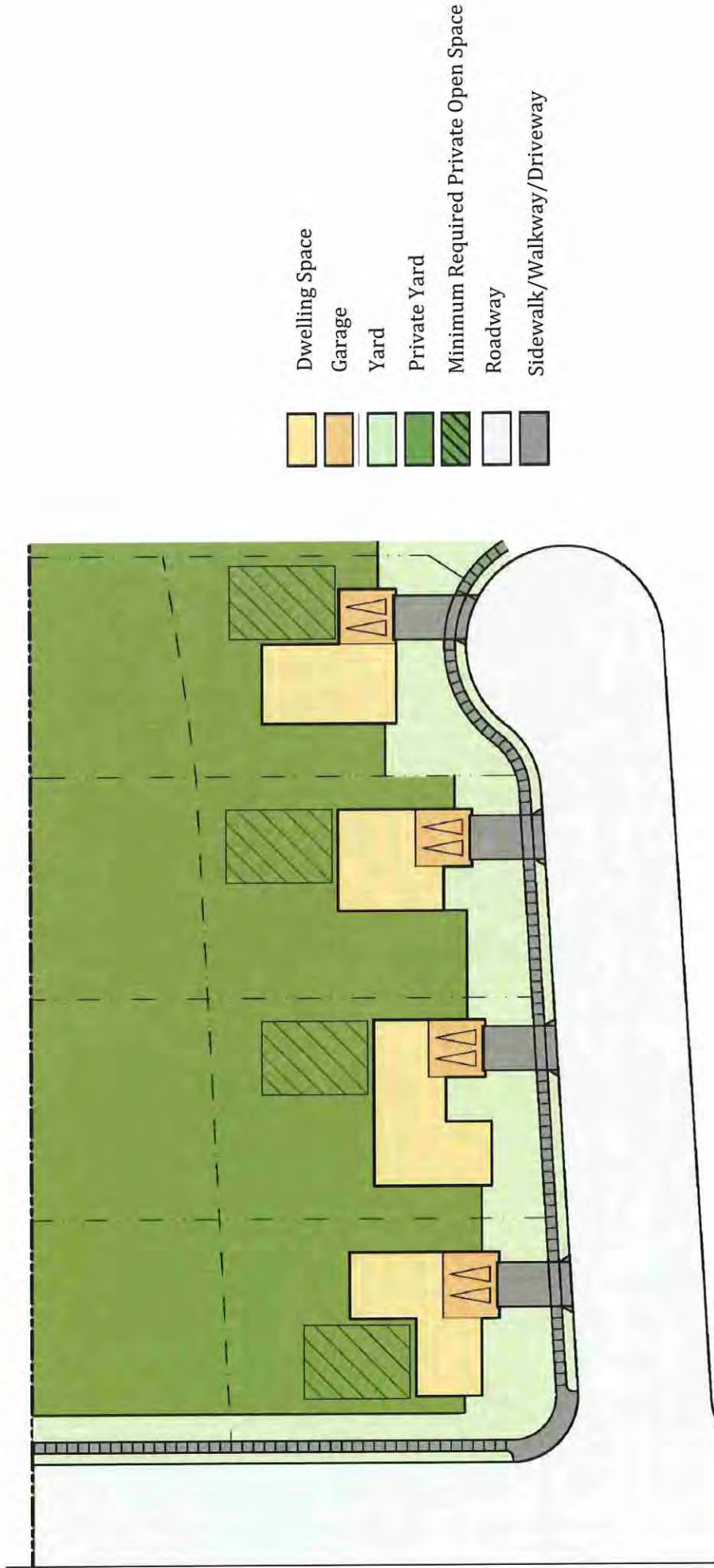
General Signage Guidelines

A companion Master Signage Program (MSP) will be crafted and implemented by the master developer of the Specific Plan and will provide detailed standards and mandatory criteria to which all signage must conform. This MSP shall also be developed in conjunction with the overall Plot Plan for the commercial area. The following signage guidelines provide a general framework and guidelines for the proposed signage to occur within the commercial area of the Specific Plan.

1. **Sign types** shall be limited to Project identification, company and building identification, direction, and temporary “for sale and lease” signs.
2. **Signs** should be designed to be complementary with and subordinate to the building they identify.
3. **Signs** shall not be permitted to project above any roofline.
4. **Signs** shall be compatible with the building in terms of color, material, and placement.

5. **Building and company identification signs** shall be low to the ground or attached to building facades.
6. **Ground-mounted signs** shall be well integrated into site landscaping. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings.

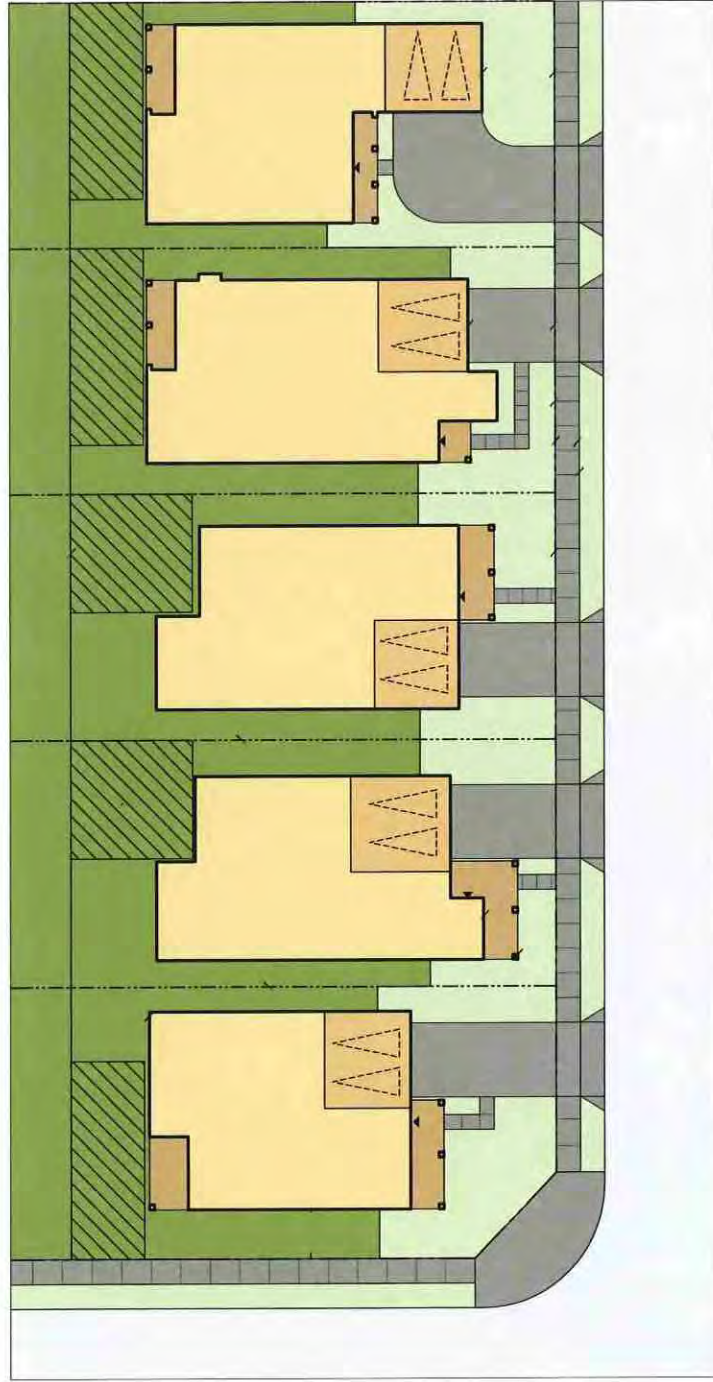
Section V: Architectural Design Guidelines



SINGLE-FAMILY DETACHED, TRADITIONAL - LARGE LOT - FIGURE V-1



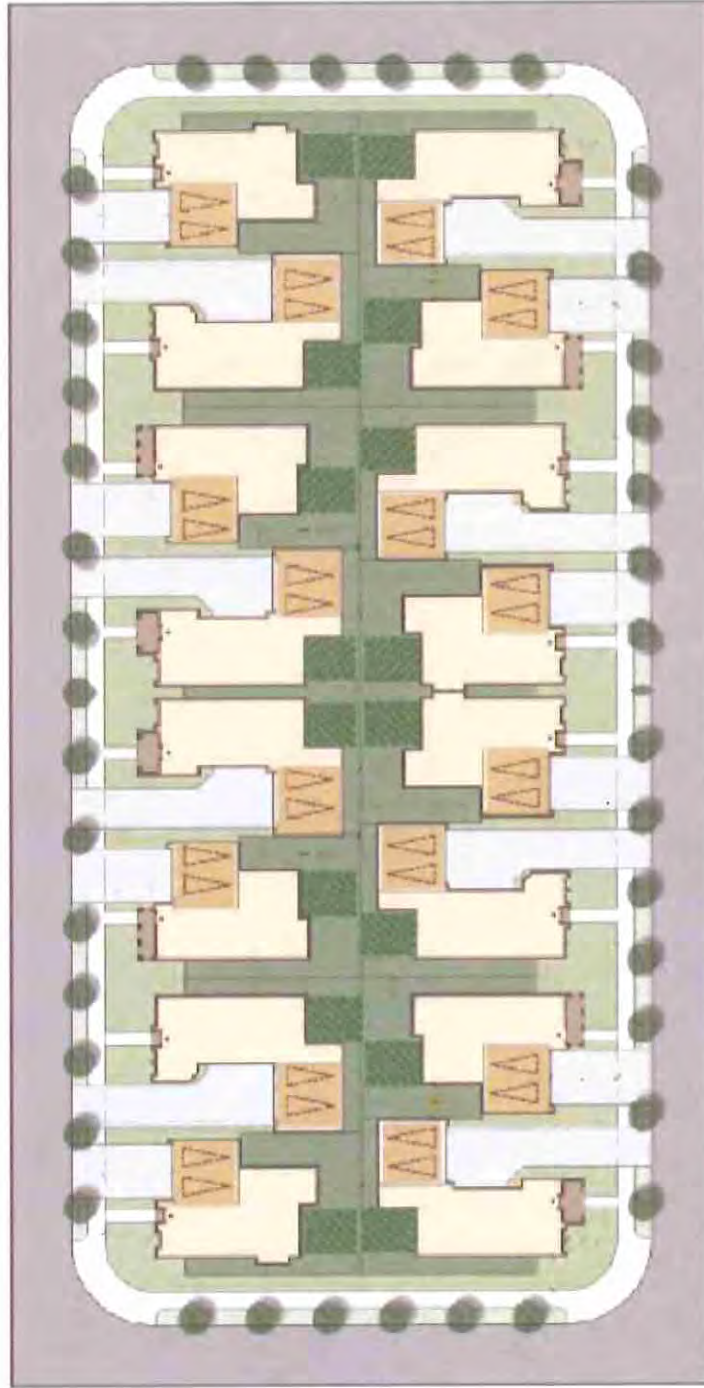
Section V: Architectural Design Guidelines



SINGLE-FAMILY DETACHED: TRADITIONAL - FIGURE V-2



Section V: Architectural Design Guidelines

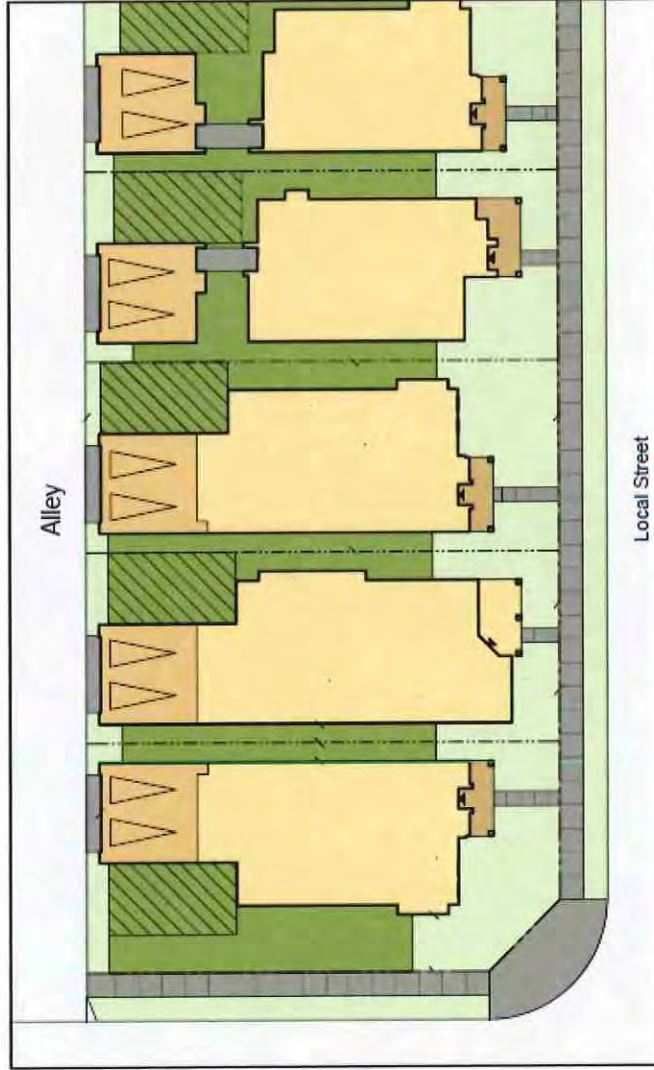


- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

SINGLE-FAMILY DETACHED: PAIRED - FIGURE V-3



Section V: Architectural Design Guidelines

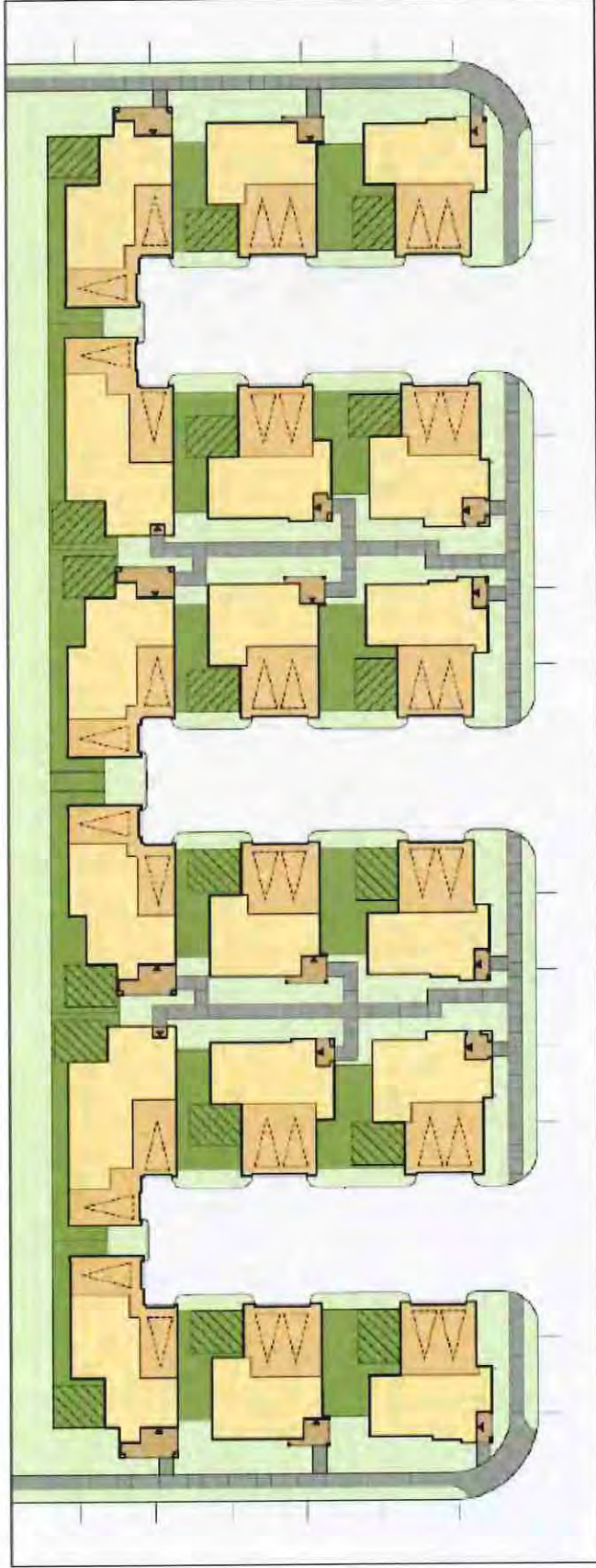


- Dwelling Space
- Garage
- Porch/Patio
- Common Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

SINGLE-FAMILY DETACHED: NARROW/DEEP - FIGURE V-4



Section V: Architectural Design Guidelines



Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway



CONDO ONLY

SINGLE-FAMILY DETACHED: CLUSTER (GARDEN COURT) - FIGURE V-5

Section V: Architectural Design Guidelines



- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

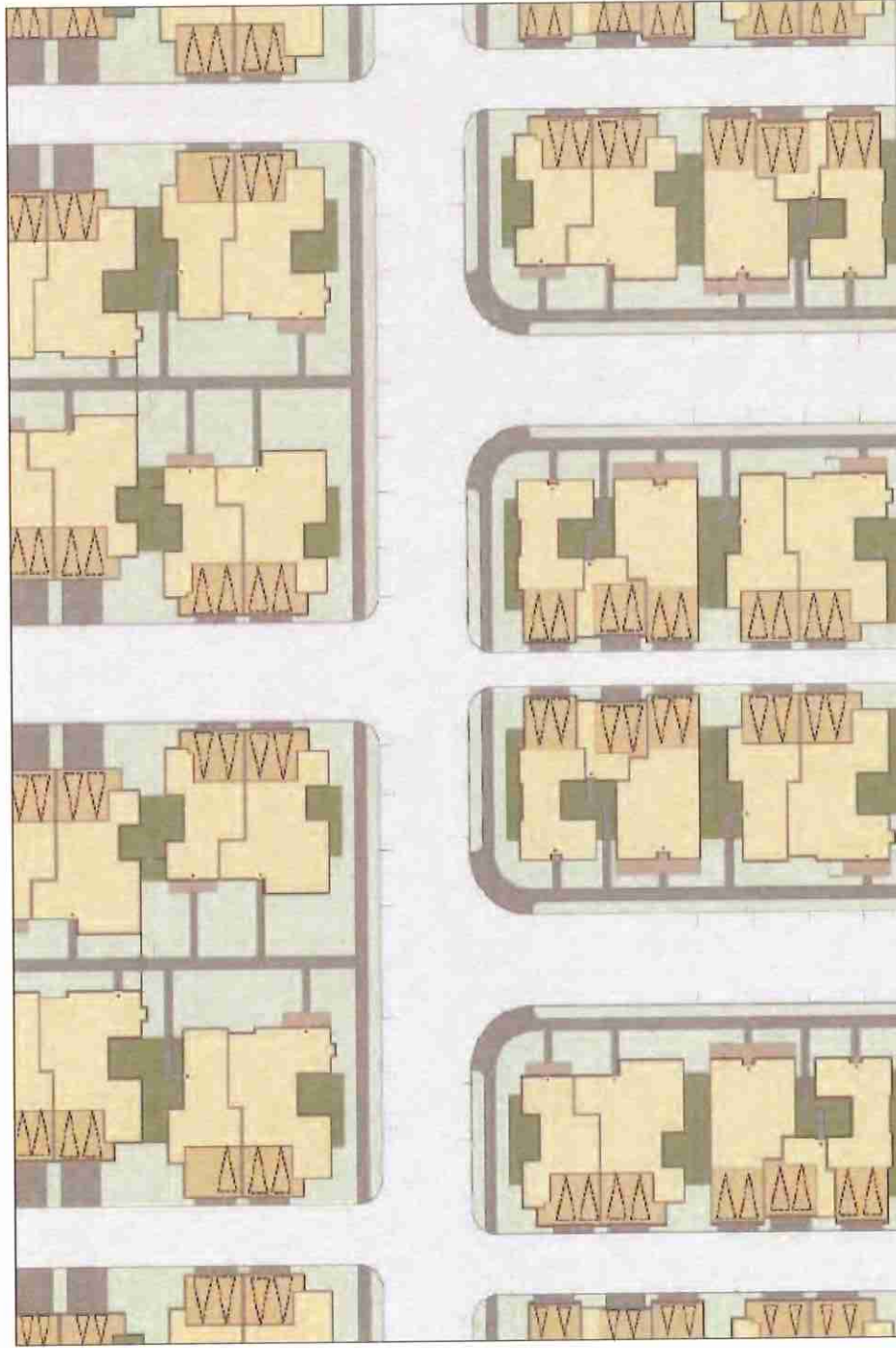
Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

CONDO ONLY

SINGLE-FAMILY DETACHED: CLUSTER (MOTOR COURT) - FIGURE V-6



Section V: Architectural Design Guidelines



- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Roadway
- Sidewalk/Walkway/Driveway

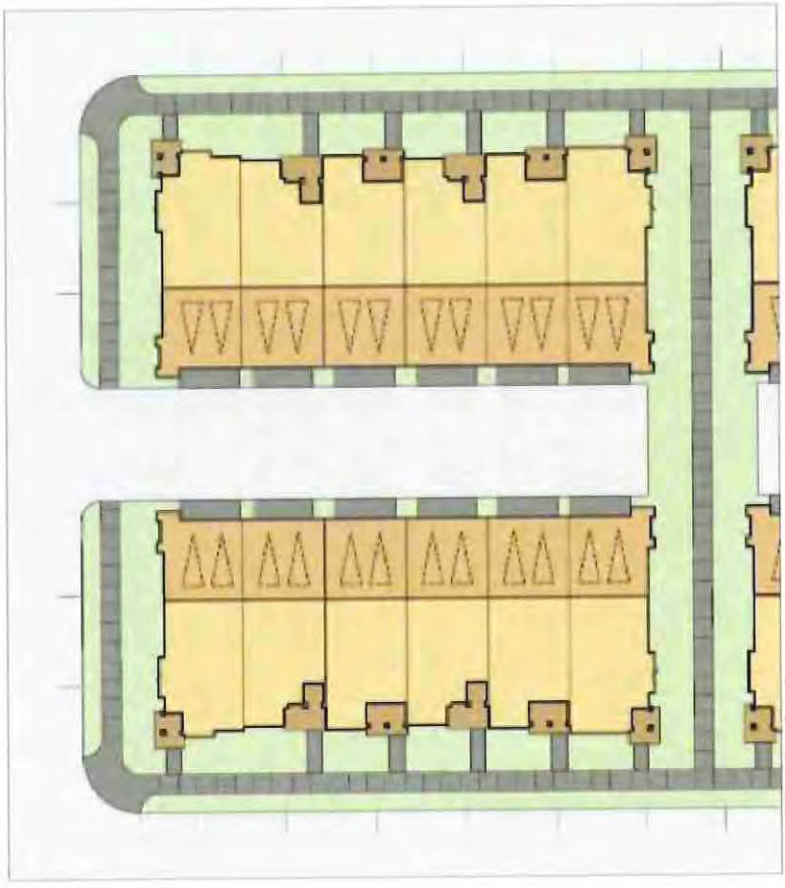
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MULTI-FAMILY ATTACHED: DUPLEX/TRIPLEX - FIGURE V-7

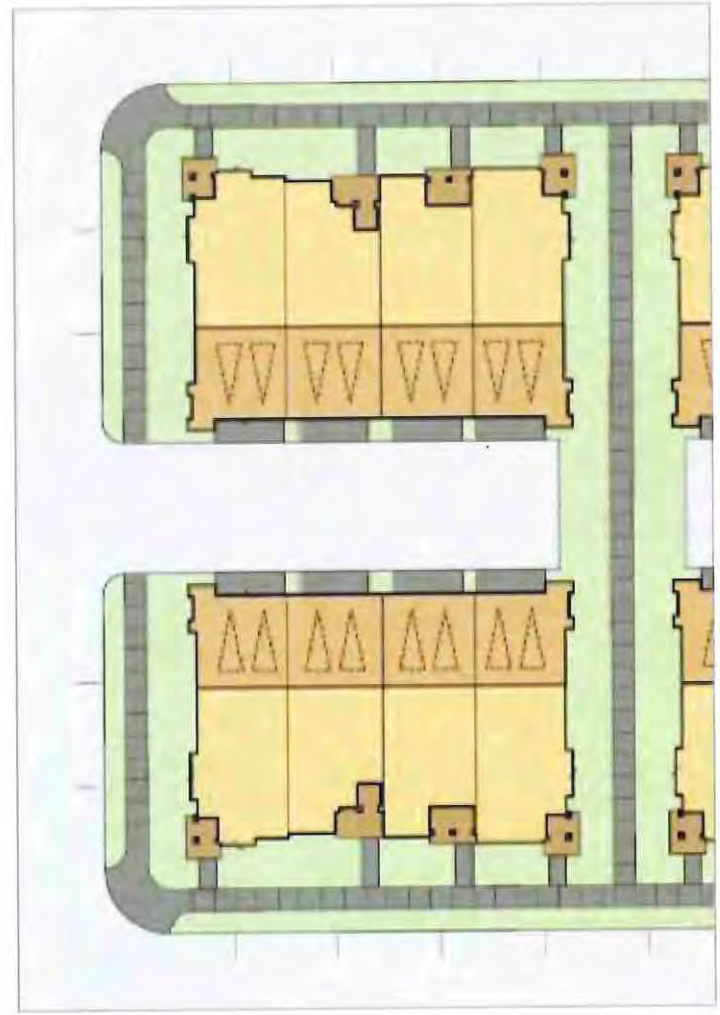
Page V-45



Section V: Architectural Design Guidelines



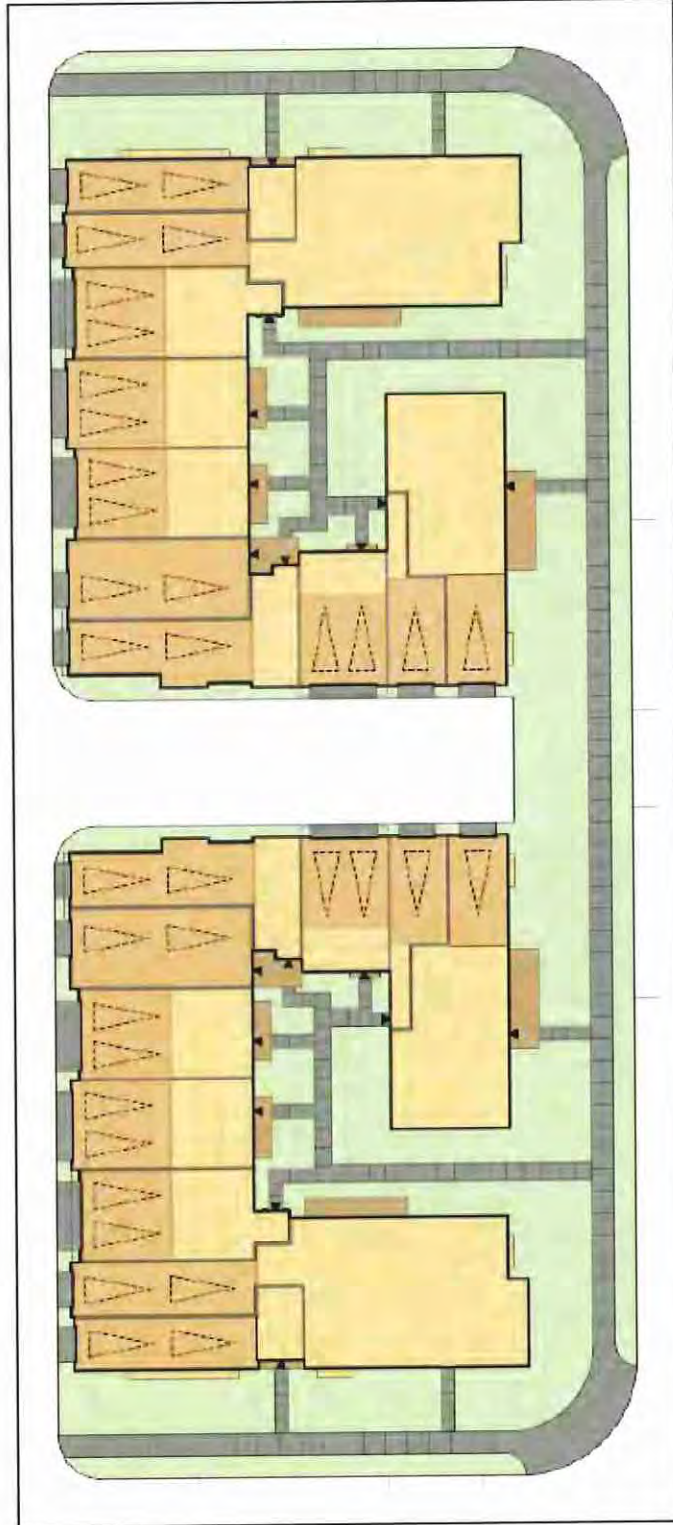
Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.



- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Roadway
- Sidewalk/Walkway/Driveway



Section V: Architectural Design Guidelines

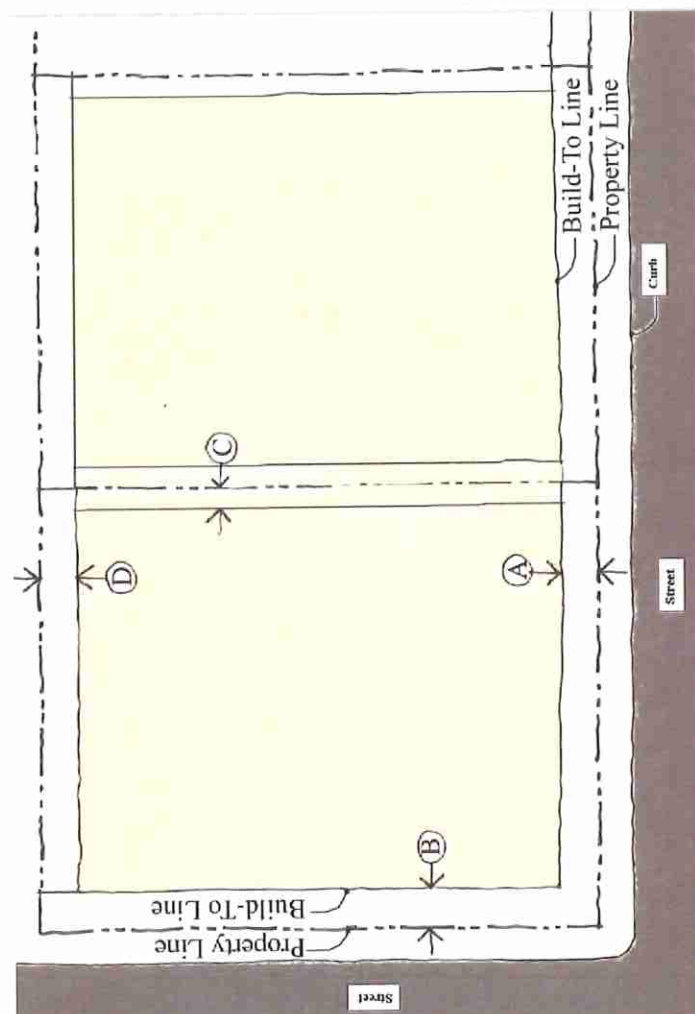
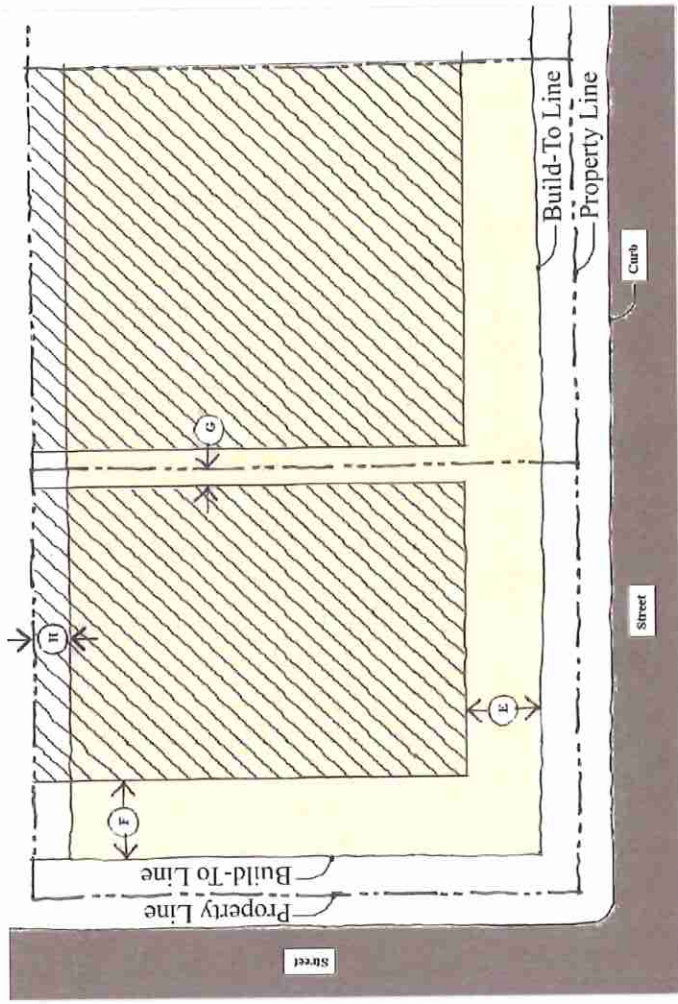


- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Roadway
- Sidewalk/Walkway/Driveway

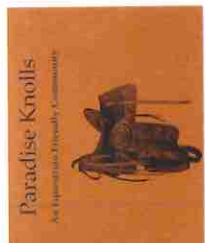
Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.



Section V: Architectural Design Guidelines



- RESIDENTIAL LIVING SPACE
- SIDEWALK
- STREET/PRIVATE DRIVE



MULTI-FAMILY ATTACHED: STACKED FLATS, LIVE/WORK OR RESIDENTIAL OVER RETAIL - FIGURE V-10
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Section V: Architectural Design Guidelines



AMERICAN FARMHOUSE ARCHITECTURAL STYLE

- 1 Two-story simple geometric square or L-shaped form
- 2 Medium-pitched, primary front to back main gable roof form with intersecting hip, gable and shed roofs and standard overhangs
- 3 Flat, shake-textured concrete tile or asphalt shingle roof material with standing metal seam accents
- 4 Large covered porches with simple wood columns
- 5 Lap siding or stucco on main body with lap siding at gable ends



HISTORY and CHARACTER:

The American Farmhouse component is based largely on the architectural elements used in Colonial styles from New England and the Mid-West. The main feature of the style is a large, covered wrapping front porch.

Key elements of the style include two-story massing, dormers and symmetrical elevations. Asymmetrical, "casual cottage" elevations with a decorative appearance are less common in this style but may still be employed. The style represents a very practical and picturesque country home.

AMERICAN FARMHOUSE ARCHITECTURAL STYLE - FIGURE V-11a



Section V: Architectural Design Guidelines

Windows:

- Large, symmetrical windows
- Multi-divided single or double-hung with trim
- Bay windows on first story, front elevations
- Second floor dormers on front elevations
- Accent shutters on front elevations



Roofs:

- Main gable with intersecting gables or hips
- Steep pitches from 6:12 to 12:12
- Deep overhangs with open eaves 12"-16"
- Concrete or asphalt tile roofing
- Colors will complement the house



Doors:

- Solid wood or wood with glass panels
- Windows adjacent to doors



Materials and Color:

- Horizontal siding is required
- Stucco may be used in rare instances
- Colors can range from light to bold with complementing trim and accents
- The use of brick is required



Porches and Balconies:

- Covered front porch with simple wood columns
- Door centered with the porch



Garages:

- Corbels
- Light fixtures shall be located on the wall
- Garage doors shall be recessed a minimum of 6"
- Roll-up doors with windows



Rear and Side Articulation:

- Shall be enhanced on all homes



Section V: Architectural Design Guidelines



CALIFORNIA RANCH ARCHITECTURAL STYLE

- 1 Horizontal, one and two-story massing form
- 2 Low to medium pitched main gable roof with standard overhangs
- 3 Flat, shake-textured concrete tile or asphalt shingle roof material
- 4 Large porch at entry with simple columns that often feature kickers
- 5 Stucco on main body with lap siding or board and batten accents
- 6 Brick or stone veneers on first story elements

HISTORY and CHARACTER:

Inspired by the California cattle ranches developed by early Californians in the late 1800's, the California Ranch architectural style evolved from native materials with considerations of climate and lifestyle. Primary building materials have evolved from adobe and wood to shingles for roofs, board and batten siding, and other colonial features. Current versions of the style are typically simple and straightforward with stucco walls, gabled roofs, and wood accents.



Section V: Architectural Design Guidelines

Windows:

- Multi-divisioned single-hung with wood trim
- Second floor dormers on front elevations
- Large windows with accent shutters on front elevations



Roofs:

- Main gable with intersecting gables or hips
- Moderate pitches from 4:12 to 5:12
- Broad overhangs or eaves
- Concrete or asphalt tile roofing
- Colors will complement the house



Doors:

- Solid wood with vertical panels
- Colors shall be complimentary to the style



Porches and Balconies:

- Covered front porch with simple wood columns



Garages:

- Corbels
- Light fixtures shall be located on the wall
- Garage doors shall be recessed a minimum of 6"
- Roll-up doors with windows



Materials and Color:

- Horizontal siding or stucco
- Earth tone colors with complimenting trim and accents
- Use of brick or stone veneers on first stories



Rear and Side Articulation:

- Shall be enhanced on all homes



Section V: Architectural Design Guidelines



CRAFTSMAN ARCHITECTURAL STYLE

- 1 Shallow-pitched gable-ended roofs with deep overhangs
- 2 Deep, broad porch element with expressive structural components such as square or tapered columns
- 3 Expressive structural elements such as rafters, brackets, braces and columns
- 4 A mixture of materials such as stone, shingles, stucco, and wood siding
- 5 Multi-paned windows with wood trim

HISTORY and CHARACTER:

The Craftsman style is an American architectural style that focuses on the harmony of indoor and outdoor life and stresses honesty of form, materials and workmanship, and eschews applied decoration in favor of the straightforward expression of the structure. The Craftsman style draws from wood building traditions of Japan and Switzerland, as well as medieval themes favored by the Arts and Crafts philosophies. Natural materials are used to signify oneness with nature and to set a unifying theme for a home. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. Craftsman style homes are considered easy, asymmetrical, gables and stuccoed works of art that form a large part of Southern California's architectural heritage.



CRAFTSMAN ARCHITECTURAL STYLE - FIGURE V-13a



Section V: Architectural Design Guidelines

Windows:

- Multi-divisioned double-hung with wood trim
- Accent shutters on front elevations



Roofs:

- Basic gable with intersecting gables
- Low pitches from 4:12 to 5:12 with broad 16"-24" overhangs
- Flat concrete tile - shingle appearance
- Colors will complement the house



Doors:

- Solid wood or wood with glass panels
- Windows adjacent to doors
- Colors shall be complimentary to the style



Porches and Balconies:

- Covered front porch beneath main roof
- Tapered square columns with wood, stone, or brick



Materials and Color:

- Horizontal shingle or stucco siding
- Earth tone colors with complimenting trim and accents
- Use of stone or brick is required

Garages:

- Corbels
- Light fixtures shall be located on the wall
- Garage doors shall be recessed a minimum of 6"
- Roll-up doors with windows



Rear and Side Articulation:

- Shall be enhanced on all homes





PRAIRIE ARCHITECTURAL STYLE

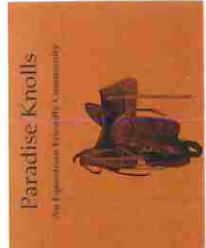
1. Wide overhang eaves
2. Two stories with one-story wings or porches
3. Feature ribbon windows
4. Broad-pitched, generally hipped roof
5. Eaves, cornices, and facades emphasize horizontal lines
6. Massive, square porch supports common



HISTORY and CHARACTER:

The Prairie style is based on the architectural elements conceived by a group of architects in Chicago, Illinois, at the beginning of the 20th century, most notably Frank Lloyd Wright, under whom the Prairie School designs reached their apex. Echoing the uninterrupted horizontal lines of the American prairie, the style is usually characterized by: broadly pitched hipped roofs with deep overhangs; two stories in height with one-story wings; front porches with massive, square porch supports; and detailing, such as eaves, cornices, and facades, which emphasizes the horizontal. Stately, strong, and weighty proportions provide a massive, earthy feel.

PRAIRIE ARCHITECTURAL STYLE - FIGURE V-14a



Section V: Architectural Design Guidelines

Windows:

- Vertically proportioned windows grouped with horizontal trim
- Ribbon windows arranged below the eave line



Doors:

- Solid wood with glass panels
- Enhanced trim around doorways
- Colors shall be complimentary to the style



Roofs:

- Primarily hipped roofs with horizontal emphasis and varied planes
- Very low pitches from 3:12 to 4:12
- 18" to 24" overhangs
- Flat concrete tile roofing
- Colors will complement the house



Porches and Balconies:

- Covered front porches
- Heavy columns of brick, stone, or tapered wood



Materials and Color:

- Earth toned colored stucco or horizontal board and batten siding
- Use of brick or stone is encouraged



Garages:

- Corbels
- Light fixtures shall be located on the wall
- Garage doors shall be recessed a minimum of 6"
- Roll-up doors with windows
- Horizontal Lines Stressed



Rear and Side Articulation:

- Shall be enhanced on all homes



Section V: Architectural Design Guidelines

Material Breaks and Transitions



Material Break - stucco / stone



Material Break - siding / stucco



Transition - siding / brick

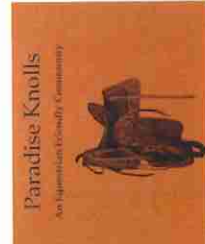


Transition - stucco / siding



Material Break - stucco / stone

All of these figures demonstrate the appropriate placing of different building materials on the structure and provide detailed examples as to the locations where differing materials adjoin one another.



Section V: Architectural Design Guidelines



Pedestrian Plaza
Water Feature, Decorative Lighting, Outdoor Seating



Gathering Area
Seating with Covers, Safe and Well Lit Environment



Entries
Focal Building, Enhanced Entry



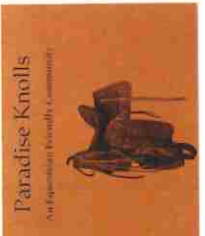
Streetscene
Buildings Adjacent to Parking or Street



Streetscene
Buildings Adjacent to Parking or Street



Tower Elements
Located at Focal Points, Include Architectural Element



See Section . V.D. Commercial Architectural Guidelines for detailed descriptions regarding the above examples.

COMMERCIAL RETAIL - FIGURE V-16a

Section V: Architectural Design Guidelines



Storefronts
Pedestrian Scale, Interest at Street



Second Story Elements
Real or Faux Windows, Additional Architectural Elements (Rails, Shutters, etc.)



Varied Roof Pitches
Vary Heights, Vary Shape and Pitch



Street Frontage
Buildings Shall Front Street, Focal Entry Point to Building



Second Story Elements
Real or Faux Windows, Additional Architectural Elements (Rails, Shutters, etc.)

See Section V.D. Commercial Architectural Guidelines pages for detailed descriptions regarding the above examples.

COMMERCIAL RETAIL - FIGURE V-16b



Section V: Architectural Design Guidelines



Pedestrian Pathways
Adequate Width for Walking, Landscaping to Soften Experience



Entries
Well Defined, Glass Encouraged



Gathering Area
Hard and Softscape Materials, Adjacent to Buildings



Outdoor Seating Adjacent to Building

See Section V.D. Commercial Architectural Guidelines pages for detailed descriptions regarding the above examples.



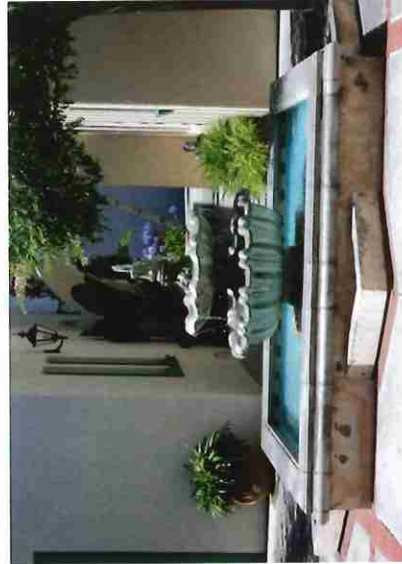
Section V: Architectural Design Guidelines



Outdoor Seating
Covered Seating Areas, Landscaping



Public Art



Planters/Fountains



Public Art



Gathering Area
Seating Areas, Landscaping, Focal Points

See Section V.D. Commercial Architectural Guidelines for detailed descriptions regarding the above examples.

Section V: Architectural Design Guidelines



Seating Areas, Landscaping, Focal Points



Outdoor Seating with Covered Seating Areas, Landscaping



Outdoor Seating Adjacent to Building



Outdoor Seating Adjacent to Building

See Section V.D. Commercial Architectural Guidelines for detailed descriptions regarding the above examples.

OUTDOOR SEATING AREA EXAMPLES - FIGURE V-18



E. Landscape Design Guidelines

1. Community Design Theme

The Landscape Design Guidelines for the Specific Plan reinforce the community's theme of "River Ranch Trails." The Landscape Design Guidelines are intended to create a sense of identity that links together the variety of residential, commercial and recreational land uses proposed for development within the Specific Plan. As demonstrated by Figure V-19, *Conceptual Landscape Plan*, careful thought has been given to integrate the structural and aesthetic elements of a balanced community through the cohesion established by a comprehensive landscape design. Thematic elements shall assist in establishing the overall design theme for the Specific Plan. These major thematic elements include:

- Monumentation
- Streetscapes
- Edge Conditions
- Parks and Recreation
- Walls and Fences
- General Landscaping Requirements
- Plant Palette

These thematic elements will occur throughout the community and establish a common design vocabulary. Although architecture may change throughout the life of the community, landscaping materials will remain consistent and continue to mature. General design guidelines and design criteria for the community theme elements are contained in the sections that follow.

2. Shade Standards

In developed communities hardscape elements (walks, drives, streets, pedestrian support amenities, and various facilities) can produce a general rise in the normal temperature range commonly referred to as a heat island effect. This heat island effect can be mitigated through increasing the area of site shading. Shade coverage areas are provided for through the use of approved canopy tree plantings. Various tree species, while providing aesthetically pleasing views

and a sense of place, also combat the heat island effect by providing shade coverage across parking lots, roads, walkways, and large facility hardscape areas. The amount of mitigated impact the heat island produces can be directly affected by the number of canopy trees planted within the community. Shade percentage will be achieved in accordance with the City's Zoning Ordinance. It is anticipated that the Specific Plan will exceed these minimum shading requirements.

3. Monumentation

To identify the Specific Plan, and the individual neighborhoods, commercial and recreational areas within the community, a hierarchy of monumentation is provided, as described in the following text and exhibits. It is the intent of these monuments to identify the Specific Plan, and to further contribute to a consistent theme within the overall design concept. Careful consideration has been given to the design of community entries, which is then carried out throughout the Specific Plan. The design intent is to create distinctive visual entrances into the Project and to provide an entry statement emphasizing the community theme of "River Ranch Trails."

The following monumentation complements and reinforces the general landscape theme, establishes the character of the Specific Plan. The hierarchy of monumentation consists of Major, Secondary, Neighborhood, Commercial, and Open Space. All of the monuments are comprised of a blending of similar hardscape materials, signage, and landscaping. Logos, type styles, and color schemes shall be consistent throughout the Specific Plan, identifying it as a distinct community within the City of Jurupa Valley.

a. Major and Secondary Entry Monumentation

The design theme for the entries in this development is consistent with the natural setting and the Rural Village Overlay theme for the Specific Plan. Entries all share the same relative scale and mass to provide a constant element in their design. A uniform choice of materials for the entries will also provide a sense of design continuity. The signage in the community is intended to meet functional needs such as informational, way finding, and identification while also supplementing architectural, landscape, and urban design features in establishing a cohesive and textured Project design theme. The signage program will establish consistency and diversity.

Reference Figures V-20a-c, *Major Entry Monumentation*.

The Secondary Entry Monumentation will have a lower scale/profile than the Major Entry Monumentation, as depicted on Figure V-21, *Secondary Entry Monumentation*.

b. Neighborhood Entry Monumentation

Neighborhood Entry Monumentation identifies the entrance(s) into distinct neighborhoods in the Specific Plan. Reference Figure V-22, *Neighborhood Entry Monumentation*.

c. Commercial Entry Monumentation

Commercial Entry Monumentation identifies the entrances to the Specific Plan from Beach Street, as depicted in Figure V-23, *Commercial Entry Monumentation*.

d. Open Space/Trail Monumentation

Open Space/Trail Monumentation indicates entrances to the public and private open space areas within the Specific Plan, and are located at key points along sidewalks and trails. Figure V-24, *Open Space/Trail Monumentation* illustrates this concept.

4. Plant Palette

The intent of these guidelines is to provide a simple plant palette that complements and enhances the thematic setting for the community. In addition, this plant palette has been selected for the plants' appropriateness to climatic conditions, soil conditions, surrounding natural environment conditions and concern for maintenance and water conservation.

Plant selection for specific areas of the community shall have similar cultural requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. This plant palette is derived from the Riverside County California Friendly Plant List. This plant palette is a representative list of plant species from which selections will be made in

future design processes. The selection of additional species from the California Friendly Plant List that meet the above criteria may also be considered. Table V-1, *Plant Palette*, provides a list of the acceptable plant materials within the Specific Plan. The Street Tree plan is depicted as Figure V-25, *Street Tree Plan*.

Plant species that are highlighted in Table V-1 represent a native, riparian-transition/upland plants that are most suitable in PA6, adjacent to the Santa Ana River (see Figure V-43). These planting should only occur outside of the California Department of Fish and Wildlife jurisdiction.

TABLE V-1
PLANT PALETTE

Botanical Name (*California Native)	Common Name	Entrances / Community Monument Areas	Streetscapes Arterial, Major, Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native	Manufactured Slopes
TREES – CANOPY DECIDUOUS							
Acer macrophyllum*	Big Leaf Maple	•	•	•	•	•	•
Aesculus californica	California Buckeye		•	•	•	•	•
Alnus rhombifolia*	White Alder		•	•	•	•	•
Juglans nigra	Black Walnut			•	•		
Juglans californica*	California Walnut	•		•	•	•	•
Platanus X acerifolia 'Bloodgood'	Bloodgood London Planetree	•	•	•	•		
Platanus X racemosa*	California Sycamore	•	•	•	•	•	•
Quercus chrysolepis*	Canyon Live Oak	•	•	•	•	•	•
Quercus kelloggii*	California Black Oak	•	•	•	•	•	•
Quercus lobata	Valley Oak	•	•	•	•	•	•
Salix spp.*	Willow species				•	•	
Umbellularia californica*	California Bay	•	•	•	•		
TREES – CANOPY EVERGREEN							
Arbutus menziesii	Madrone	•	•	•	•	•	•
Lythalamus floribundus ssp. asplenifolius	Santa Cruz Island Ironwood	•	•	•	•		
Quercus agrifolia*	Coast Live Oak	•	•	•	•	•	•
Quercus engelmannii	Engelmann Oak, Mesa	•	•	•	•	•	•
Quercus tomentella	Island Oak	•	•	•	•	•	•
TREES – ACCENT							
Arbutus unedo	Strawberry Tree	•	•	•	•		
Brahea edulis	Guadalupe Island Fan Palm	•		•	•		
Cercis occidentalis*	Western Redbud	•	•	•	•	•	•
Chilopsis linearis*	Desert Willow		•	•	•		
Phoenix dactylifera	Date Palm	•		•	•		
Pinus monophylla*	Singleleaf Pinyon	•	•	•	•	•	•
Prosopis glandulosa var. torreyana*	Western Honey Mesquite	•	•	•	•	•	•
Prunus fremontii*	Desert Apricot	•	•	•	•	•	•
Prunus ilicifolia spp. ilicifolia*	Hollyleaf Cherry	•	•	•	•	•	•
Psoralea argophylla*	Smoke Tree	•	•	•	•	•	•
Washingtonia filifera*	California Fan Palm	•	•	•	•		

TABLE V-1
PLANT PALETTE (CONTINUED)

Botanical Name (*California Native)	Common Name	Entries / Community Monument Areas	Streetscapes Arterial, Major Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native Trails	Manufactured Slopes
TREES – VERTICAL / SCREEN							
<i>Cedrus deccurrens</i>	Incense Cedar	•		•	•	•	
<i>Cupressus forbesii</i>	Tecate Cypress	•		•	•	•	
<i>Pinus coulteri</i> *	Coulter Pine			•	•	•	•
<i>Pinus edulis</i> *	Two Needle Pinyon Pine	•	•	•	•	•	•
<i>Pinus elderrica</i>	Mondell Pine			•	•	•	
<i>Pinus ponderosa</i>	Ponderosa Pine	•	•	•	•	•	•
<i>Populus fremontii</i> *	Fremont Poplar	•	•	•	•	•	
<i>Quercus douglasii</i>	Blue Oak	•	•	•	•	•	
<i>Thuja plicata</i>	Western Red Cedar	•	•	•	•	•	
<i>Tristania conferta</i>	Brisbane Box	•	•	•	•		
SHRUBS – LARGE/FOUNDATION							
<i>Adenostoma fasciculatum</i> *	Chamise				•	•	•
<i>Arctostaphylos sp.</i> *	Manzanita	•	•	•	•	•	•
<i>Ceanothus spp.</i> *	Wild Lilac	•	•	•	•	•	•
<i>Cornus spp.</i> *	Dogwood	•	•	•	•	•	•
<i>Dendromecon hardforii</i>	Island Bush Poppy	•	•	•	•	•	•
<i>Dendromecon rigida</i> *	Bush Poppy	•	•	•	•	•	•
<i>Ephedra spp.</i> *	Ephedra					•	•
<i>Fallugia paradoxa</i> *	Apache Plume					•	•
<i>Garrya elliptica</i>	Coast Silk-Tassel					•	•
<i>Garrya spp.</i> *	Silk Tassel					•	•
<i>Heteromeles arbutifolia</i> *	Toyon	•	•	•	•	•	•
<i>Hyptis emoryi</i> *	Desert Lavender					•	•
<i>Juniperus spp.</i> *	Juniper	•	•	•	•	•	•
<i>Larrea tridentate</i> *	Creosote Bush					•	•
<i>Lavatera assurgentiflora</i>	Malva Rosa					•	•
<i>Ligustrum japonicum</i> 'Texanum'	Waxleaf Privet	•	•	•			
<i>Phormium spp.</i>	N.C.N	•	•	•			
<i>Quercus durata</i> *	Leather Oak	•	•	•			•
<i>Rhamnus californica</i> *	California Coffee Berry	•	•	•	•	•	•
<i>Rhamnus rubra</i> *	Red Buckthorn	•	•	•	•	•	•
<i>Rhus integrifolia</i> *	Lemonade Berry					•	•

TABLE V-1
PLANT PALETTE (CONTINUED)

Botanical Name (*California Native)	Common Name	Entries / Community Monument Areas	Streetscapes Aerial, Major, Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native Trails	Manufactured Slopes
Ribes spp.*	Current						
Salix spp.*	Willow						
Sambucus mexicana	Western Elderberry						
Sambucus nigra*	Black Elderberry						
Simmondsia chinensis*	Jojoba						
Solanum spp.*	Nightshade						
Viburnum suspensum	Sandankwa Viburnum						
Yucca spp.*	Yucca						
Yucca brevifolia*	Joshua Tree						
SHRUBS - MIDSTORY							
Achillea millefolium*	Yarrow						
Agave spp.*	Agave						
Agave deserti*	Desert Agave						
Agave shawii*	Shaw Agave						
Agave utahensis*	Utah Agave						
Aloe spp.	Aloe						
Arctostaphylos sp.*	Manzanita						
Artemisia californica*	California Sagebrush						
Asclepias speciosa*	Showy Milkweed						
Aster chilensis	Coast Aster						
Berberis spp.	Barberry						
Berberis aquifolium*	Oregon Grape						
Ericella californica*	California Sunflower						
Equisetum spp.* (controlled environment)	Common Horsetail						
Eriodictyon trichocalyx*	Yerba Santa						
Eriogonum spp.*	Buckwheat						
Fremontodendron californica*	California Flannel Bush						
Heuchera spp.*	Coral Bells						
Justicia californica*	Chuparosa						
Keckiella cordifolia*	Heartleaf Keckiella						
Lepechinia fragrans*	Pitcher Sage						
Lobelia spp.*	Lobelia						
Malacothamnus spp.*	Bush Mallows						
Mimulus spp.*	Shrubby Monkeyflower						

TABLE V-1
PLANT PALETTE (CONTINUED)

Botanical Name (*California Native)	Common Name	Entries / Community Monument Areas	Streetscapes Arterial, Major, Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native	Manufactured Slopes
Phormium spp.	N.C.N	•	•	•			
Romneya 'White Cloud'	White Cloud Matilija Poppy	•	•	•	•	•	•
Rosa californica*	California Wildrose	•	•	•	•	•	•
Rosa woodsii*	Wood's Rose	•	•	•	•	•	•
Salvia apiana*	White Sage	•	•	•	•	•	•
Salvia clevelandii*	Cleveland Sage	•	•	•	•	•	•
Salvia leucophylla*	Purple Sage	•	•	•	•	•	•
Trichostema lanatum*	Woolly Blue Curly	•	•	•	•	•	•
Verbena iliacina	Lilac Verbena	•	•	•	•	•	•
Verbena spp.*	Verbena	•	•	•	•	•	•
Woodwardia fimbriata*	Giant China Fern	•	•	•	•	•	•
Yucca whipplei*	Our Lord's Candle	•	•	•	•	•	•
SHRUBS – LOW OR ACCENT							
Adiantum capillus-veneris*	Southern Maidenhair	•	•	•	•	•	•
Aquilegia formosa*	Western Columbine						
Baccharis pilularis*	Coyote Bush	•	•	•	•	•	•
Baccharis pilularis 'Pigeon Point'	Pigeon Point Coyote Bush	•	•	•	•	•	•
Brodiaea pulchella	Wild Hyacinth						
Brodiaea spp.*	Hyacinth						
Ceanothus spp.*	Wild Lilac	•	•	•	•	•	•
Dryopteris arguta*	Coastal Wood Fern	•	•	•	•	•	•
Dudleya spp.*	Dudleya	•	•	•	•	•	•
Erigeron spp.*	Daisy	•	•	•	•	•	•
Erigeronum spp.*	Buckwheat	•	•	•	•	•	•
Heuchera spp.*	Coral Bells	•	•	•	•	•	•
Iris spp.*	Iris	•	•	•	•	•	•
Monardella spp.*	Monardella						
Oenothera californica*	California Evening Primrose	•	•	•	•	•	•
Optunia basilaris*	Beavertail Cactus	•	•	•	•	•	•
Optunia spp.*	Cactus	•	•	•	•	•	•
Preridium aquilinum pubescens*	Bracken Fern	•	•	•	•	•	•
Ranunculus californicus*	California Buttercup	•	•	•	•	•	•
Salvia apiana*	White Sage	•	•	•	•	•	•
Salvia columbariae*	Chia	•	•	•	•	•	•

TABLE V-1
PLANT PALETTE (CONTINUED)

Botanical Name (*California Native)	Common Name	Monument Areas	Streetscapes Aerial, Major, Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native Trails	Manufactured Slopes
<i>Salvia mellifera</i> *	Black Sage	•	•	•	•	•	•
<i>Sidalcea malviflora</i> *	Checkerbloom						
<i>Sisyrinchium bellum</i> *	Blue-eyed Grass	•	•	•	•	•	•
<i>Sphaeralcea ambigua</i> *	Globe Mallow						
<i>Symphoricarpos mollis</i> *	Creeping Snowberry						
GROUND COVER							
<i>Baccharis pilularis</i> *	Coyote Bush	•	•	•	•	•	•
<i>Ceanothus</i> spp.*	Wild Lilac	•	•	•	•	•	•
<i>Fragaria chiloensis</i>	Beach Strawberry	•	•	•	•	•	•
<i>Fragaria vesca</i> *	Woodland Strawberry	•	•	•	•	•	•
GRASSES							
<i>Aristida purpurea</i> var. <i>purpurea</i> *	Purple Three-Awn	•	•	•	•	•	•
<i>Bothriochloa barbinodis</i> *	Cane Bluestem	•	•	•	•	•	•
<i>Bouteloua</i> spp.*	Grama Grass	•	•	•	•	•	•
<i>Calamagrotis foliosa</i>	Cape Mendocino	•	•	•	•	•	•
<i>Elymus</i> spp.*	Wildrye	•	•	•	•	•	•
<i>Festuca californica</i> *	California Fescue	•	•	•	•	•	•
<i>Festuca ovina glauca</i>	Blue Fescue	•	•	•	•	•	•
<i>Juncus</i> spp.*	Rush	•	•	•	•	•	•
<i>Leymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye	•	•	•	•	•	•
<i>Leymus salinus</i> *	Saline Wild Rye	•	•	•	•	•	•
<i>Melica imperfecta</i> *	Coast Melic Grass	•	•	•	•	•	•
<i>Muhlenbergia</i> spp.*	Deer Grass	•	•	•	•	•	•
<i>Nassella</i> spp.	Needlegrass	•	•	•	•	•	•
<i>Nolina</i> spp.*	Beargrass	•	•	•	•	•	•
<i>Sporobolus airoides</i> *	Alkali Sacaton	•	•	•	•	•	•
SUCCULENTS							
<i>Agave</i> spp.*	Agave	•	•	•	•	•	•
<i>Aloe</i> spp.	Aloe	•	•	•	•	•	•
<i>Dudleya</i> spp.*	Dudleya	•	•	•	•	•	•
<i>Echinocereus</i> spp.*	Hedgehog Cactus	•	•	•	•	•	•
<i>Ferocactus cylindraceus</i> *	Barrel Cactus	•	•	•	•	•	•
<i>Opuntia</i> spp.*	Cholla	•	•	•	•	•	•

TABLE V-1
PLANT PALETTE (CONTINUED)

Botanical Name (*California Native)	Common Name	Monument Areas	Streetscapes Arterial, Major, Collector	Commercial / School / Offices	Parks/Cemetery	Open Space / Native	Manufactured Slopes
VINES							
<i>Bignonia capreolata</i>	Crossvine	•	•	•			
<i>Clematis armandii</i>	Evergreen Clematis	•	•	•			
<i>Clematis lasiantha</i> *	Chaparral Clematis	•	•	•	•	•	•
<i>Clematis ligusticifolia</i> var. <i>californica</i> *	California Clematis	•	•	•	•	•	•
<i>Clematis pauciflora</i> *	Ropevine Clematis	•	•	•	•	•	•
<i>Clytostoma callistegiodes</i>	Violet Trumpet Vine	•	•	•			
<i>Fallopia baldschuanica</i>	Silver Lace Vine	•	•	•			
<i>Gelsemium sempervirens</i>	Carolina Jessamine	•	•	•			
<i>Millettia reticulata</i>	Evergreen Wisteria	•	•	•			
<i>Parthenocissus vitacea</i> *	Virginia Creeper	•	•	•	•	•	•
<i>Vitis californica</i> *	California Wild Grape	•	•	•	•	•	•
SLOPE SEED MIX (PROVIDED BY STOVER SEEDS)							
<i>Aristida purpurea</i> *	Purple Three Awn						•
<i>Displacus aurantiacus</i> *	Sticky Monkeyflower						•
<i>Encelia californica</i> *	Bush Sunflower						•
<i>Eriogonum fasciculatum</i> *	California Buckwheat						•
<i>Eriophyllum confertiflorum</i> *	Golden Yarrow						•
<i>Eschscholzia californica</i> *	California Poppy						•
<i>Lasthenia californica</i> *	Dwarf Goldfields						•
<i>Nassella cernua</i> *	Nodding Stipa						•
<i>Penstemon spectabilis</i> *	Showy Penstemon						•
<i>Salvia apiana</i> *	White Sage						•
<i>Vulpia microstachys</i> *	Three Week Fescue						•
<i>Yucca whipplei</i> *	Our Lord's Candle						•

All plants on the Cal-IPC Invasive species list are not allowed – refer to <http://www.cal-ipc.org/paf/> for current list.

5. Streetscape Landscaping

Streetscape landscaping within the Specific Plan will respond to the surrounding natural environment in which it occurs. Street tree selection will be sensitive to the local climate the surrounding natural environment and overall design theme of the community, enhancing the appearance of commercial, residential and other community areas with distinct aesthetic accents.

The roads within Specific Plan form a hierarchy in their layout. Their landscape character and setbacks reinforce hierarchy, with greater setbacks and landscaped medians on larger roads and slightly narrower setbacks on smaller roads, such as collector roads. The dimensions of the various road classifications within the Specific Plan are depicted in Figure II-1, *Vehicular Circulation Plan*.

a. Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition

Limonite Avenue creates the Projects northern boundary. This roadway provides a major east/west thoroughfare through the City of Jurupa Valley. It is a TUMF facility and its ultimate implementation is under the jurisdiction of the Riverside County Transportation Commission. Please reference Figure V-26, *Limonite Avenue East of Beach Street Entry Streetscape and Edge Condition*.

b. Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition

The street section is adjacent to PAs 2 and 4. Please reference Figure V-27, *Limonite Avenue West of Beach Street Entry Streetscape and Edge Condition*.

c. Downey Street Streetscape and Edge Condition

This street is adjacent to PA1. Please reference Figure V-28, *Downey Street Streetscape and Edge Condition*.

d. "A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition

Please reference Figure V-29, *"A" Street Adjacent to PA5 Concourse Streetscape and Edge Condition*.

e. "A" Street East and West of PA5 Concourse Streetscape and Edge Condition

Please reference Figure V-30, *"A" Street East and West of PA5 Concourse Streetscape and Edge Condition*.

f. Beach Street Entry Streetscape and Edge Condition

This street is adjacent to PAs 2 and 3. Please reference Figure V-31, *Beach Street Entry Streetscape and Edge Condition*.

g. Beach Street, South of Street "A" Streetscape and Edge Condition

This street section bifurcates PA5. Please reference Figure V-32, *Beach Street, South of "A" Street Streetscape and Edge Condition*.

h. "B" Street Streetscape and Edge Condition

The street section is adjacent to PAs 5 and 6. Please reference Figure V-33, *"B" Street Streetscape and Edge Condition*.

i. Local Streets Streetscape

These streets are located within the individual planning areas, but are not part of the circulation network as depicted on Figure II-1, *Vehicular Circulation Map*. Please reference Figure V-34, *Local Streets Streetscape*.

j. Cul-de-sacs Streetscape

Please reference Figure V-35, *Cul-de-sacs Streetscape*.

k. Private Streets

Private Streets consist of a 24-foot to 30-foot ROW and provide access to garages.

l. Alleys

Within the alley, the placement of garages shall be staggered from one another, rather than a straight line of garages. The placement of garages shall be set back away from the edge of the alley drive aisle, rather than all of the garages being placed adjacent to the edge of the alley. Garages should all be single-story to reduce the “canyon effect;” however, a second story will be allowed above the garage subject to the applicable setbacks. Landscaping shall be provided in all alleys.

m. Traditional Neighborhood PA1 (MDR) - Multi-Family Neighborhood PA2 (HDR) Edge Condition

Instances where PA1 abuts PA2 are depicted in Figure V-36, *PA1 Medium Density Residential - PA2 Highest Density Residential Edge Condition*

n. Traditional Neighborhood PA1 (MDR) - Neighborhood Commercial PA3 Edge Condition

Instances where PA1 abuts PA3 are depicted Figure V-37, *PA1 Medium Density Residential - PA3 Commercial Retail Edge Condition*.

o. Traditional Neighborhood PA1 (MDR) - Village Neighborhood PA5 (MHDR) Edge Condition

Instances where PA1 abuts PA5 are depicted in Figure V-38, *PA1 Medium Density Residential – PA5 Medium High Density Residential Edge Condition*.

p. Multi-Family Neighborhood PA2 (HDR) - Neighborhood Commercial PA3 Edge Condition

Instances where PA2 abuts PA3 are depicted in Figure V-39, *PA2 Highest Density Residential – PA3 Commercial Retail Edge Condition*.

q. Multi-Family Neighborhood PA2 (HDR) and Rural Neighborhood PA4 (LDR) – Training Facility Edge Condition

Instances where PA2 and PA4 abut the J.A.T.C. Training Facility are depicted on Figure V-40, *PA2 Highest Density Residential and PA4 Low Density Residential – Training Facility Edge Condition*.

r. Multi-Family Neighborhood PA2 (HDR) - PA5 Open Space Recreational Concourse Edge Condition

The interface between PA2 and PA5 is depicted in Figure V-41, *PA2 Highest Density Residential – PA5 Open Space – Recreational Concourse Edge Condition*. This edge condition is dominated by “A” Street, which serves as a demarcation between the two Planning Areas.

s. Village Neighborhood PA5 (MHDR) – PA5 Open Space – Recreational Concourse Edge Condition

Instances where PA5 residential uses are separated from the Recreational Concourse are depicted in Figure V-42, *PA5 Medium High Density Residential – PA5 Open Space – Recreational Concourse Edge Condition*.

t. **Village Neighborhood PA5 (MHDR) - Greenbelt, Open Space, Recreation PA6/Santa Ana River Edge Condition**

Instances where PA5 is located across from PA6 are depicted in Figure V-43, *PA5 Medium High Density Residential/PA6 Open Space – Recreation (Public Park)/Santa Ana River Edge Condition*. This edge condition is dominated by a slope and by “B” Street, which serves as a demarcation between the two Planning Areas. PA5 will be higher in elevation than PA6. Plant species that are highlighted in Table V-1 represent a native, riparian-transition/upland plants that are most suitable in PA6, adjacent to the Santa Ana River (see Figure V-43). These planting should only occur outside of the California Department of Fish and Wildlife jurisdiction.

6. Recreational Amenities

A variety of recreational opportunities will be afforded within the Specific Plan. Outdoor recreation experiences will be promoted through the development of quality parks and trails. Community lifestyle needs have been anticipated with a variety of recreation experiences, which are provided by the provision of a Public Park, Private Recreational Concourse, private recreation areas, as well as an on-site pedestrian and equestrian trails network within the Specific Plan.

a. **PA2 Private Recreation Areas**

Two (2) private recreation areas shall be provided for the residents within PA2. These private recreation areas shall include at a minimum shaded seating areas, a swimming pool and spa, and pathways. A conceptual site plan for park amenities is depicted on Figure V-44, *PA2 Private Recreation Areas*.

b. **PA5 Recreational Concourse (Private Park)**

A six (6) acre private Recreational Concourse is provided within PA5 and traverses the northern portion of PA5 and is bordered by “A” Street. Vehicles along these streets can access the Concourse; as there is on-street parking on both sides of “A” Street. Because of its central location within the Specific Plan, it is intended that pedestrian access is the primary form of access to and from this

area. It is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, picnic areas, seating areas, exercise stations, gazebo, tot lot, multipurpose hard court, open field, community garden, tree house and rope bridge, and sidewalks along Beach Street, South of "A" Street, to PA6 and the Santa Ana River. A conceptual site plan for park amenities is depicted on Figure V-45, *PA5 Recreational Concourse (Private Park)*.

c. Greenbelt, Open Space, Recreation PA6

Planning Area 6 (PA6) is approximately 18.2 acres, and is designated Open Space (OS). PA6 is located adjacent to the Santa Ana River, and will serve multiple functions. Currently, access to the Santa Ana River is only permitted as part of payment of green fees for the golf course. The Specific Plan will allow public access to the Santa Ana River. It is anticipated that equestrian uses will be located within PA6, including, but not limited to trails, corrals, watering stations, parking areas and staging areas. A permanent boarding facility is anticipated in either PA6 or PA5, or a combination of the two. The equestrian facilities will be open to the community at large. It is anticipated that trails will lead to these facilities. The Project will be responsible for the installation of these trails on the north side of Limonite Avenue, easterly from Beach Street (this is off-site), and along Downey Street, along the Project's easterly boundary. In addition to equestrian facilities, it is anticipated that there will also be passive and semi-active recreational facilities, including, but not limited to walkways/trails, overlook areas, picnic areas, seating areas and exercise stations within PA6. Conceptual plans for the Public Park are depicted on Figures V-46a-d, *PA6 Public Park*. One pedestrian access will be provided from PA5 to PA6 in the portion of PA5, east of Beach Street, south of "A" Street.

d. Trails and Sidewalks

As illustrated on Figure II-3, *Non-Vehicular Circulation Plan*, a comprehensive trail system is planned within the Specific Plan and connects all residential neighborhoods to the parks, recreational areas, commercial retail, as well as off-site existing and proposed trails. The Specific Plan will provide sidewalks, as well as pedestrian and equestrian trails for the both the Project's residents and the surrounding community. Typical trail lighting examples are depicted on Figure V-47, *Trail lighting Fixtures*.

Bicycle riding will be permitted on the local streets, as well as the Open Space Trail.

The non-vehicular circulation plan includes two trail sizes and classifications as illustrated in.

- **Equestrian Trail - (10 feet)** – Reference Figure II-3, *Non-Vehicular Circulation*, and Figure II-4, *Trail Cross-Sections*. This trail may also be used by pedestrians.
- **Open Space Trail - (8 feet)** – Reference Figure II-3, *Non-Vehicular Circulation*, and Figure II-4, *Trail Cross-Sections*.
- **Sidewalks (5 feet)** – Reference Figure II-3, *Non-Vehicular Circulation*.

7. Community Walls and Fences

Community walls and fences, as illustrated on Figure V-48, *Conceptual Wall and Fence Plan*, Figure V-49a, *Wall and Fence Elevations*, and Figure V-49b, *Wall and Fence Elevations*, will be predominantly located around the perimeter boundaries of each residential planning area where interfaces with natural open space, roads, parks, or off-site land uses occur. The walls and fencing within the Specific Plan are major visual elements and have been carefully designed to complement the overall theme. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines. The walls and fencing will be easy to maintain and provide a durable, long-term edge. Block walls will be located where either noise attenuation or privacy is needed. View fencing shall be provided in instances where privacy can be met, yet view potentials can be realized. Vinyl fencing will also be allowed as illustrated on Figure V-48, *Conceptual Wall and Fence Plan*, Figure V-49a, *Wall and Fence Elevations*, and Figure V-49b, *Wall and Fence Elevations*.

Community walls and fences shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Walls and fences may be offset occasionally to avoid visual monotony. Pilasters shall be provided at property lines and at breaks between public and private spaces where walls or fences are provided, but at a minimum, at least every 200'. Interior fencing and block walls on residential lots shall be used to define the limits of property ownership, as well as for the creation of exterior privacy.

In addition, the following guidelines should be applied to the Specific Plan when there is an interface between developed uses and non-developed, sensitive, or potentially sensitive, areas:

- Fencing shall be at least six (6) feet high.
- Fencing should have no horizontal top bar. If there is a bar, some type of hooks or sharp edges should be present on the top.
- Fencing is to be buried at least six (6) inches deep; either the fence or some type of mesh is to be buried.
- A solid fence is preferred. If tubular steel is proposed, vertical bars should be no more than 3 inches apart and 1 inch for any horizontal spaces.
- Posts should be a material that cats cannot climb (e.g. metal), or modified to prevent climbing.

8. General Landscape Requirements

a. Energy Efficiency

This section of the Design Guidelines serves to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer as it relates to landscaping.

The following have been selected based on their ease of applicability and implementation during the design and construction phases, marketability and/or desirability potential to the home buyer, and cost incentive factors to both the builder and homeowner in order to maximize energy efficiency and maximize water quality and conservation.

Goal #1: Maximize Energy Efficiency

During Landscaping:

1. During the summer months, tall deciduous trees sited along the southwest and west of a residence provide shade and protect the home from solar heat gain keeping the outdoor

surroundings cool. During winter, leaves drop off allowing winter sun to shine through to heat the home passively. The result is less reliance on mechanical heating and cooling systems. Where practical, place tall, deciduous trees to the southwest and west (as well as east) sides of the house to block hot afternoon summer sun.

2. Non-permeable materials used as ground covering absorb and trap the sun's heat, contributing to the increase in the average daily temperature surrounding the home. Permeable materials cut down on the amount of heat absorbed and re-radiated from the surface. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. Reduce the amount of non-permeable surface on each lot to the maximum extent possible.

Goal #2: Maximize Water Quality and Conservation

Landscape Considerations:

1. Drought tolerant and native plants are required as part of the plant palette.
2. Different types of plants have different watering and maintenance needs. A zoned irrigation system delivers the appropriate amount of water to the appropriate landscaping zone as needed. Use a drip irrigation system and/or zoned irrigation system with a rain sensor shut-off feature. The shut-off feature prevents unnecessary irrigation during rain.
3. Consider Xeriscape Figure IV-49, *Xeriscape Examples* landscape treatments instead of lawns. Where lawns or gardens are proposed, incorporate retention grading and/or construct as a swale to allow for maximum retention and control of stormwater flows.

Design Considerations:

1. If a pool is provided in a common recreation area, install a pool filtration with zero water backwash system to reduce and possibly eliminate the need to drain the pool.
2. Install the following in-home features to reduce water usage:
 - Low-flow toilets.
 - Horizontal access washing machines.

- Low-flow showerhead and faucet aerators.

b. Irrigation

Irrigation Point of Connection Master Plans will begin to be created during the tentative map process as grading, lot configuration and maintenance responsibility begins to be more precise and will act as coordination mechanisms between the landscape architect, civil engineer, dry utility consultant, utility provider, and water district through the construction document process.

All common irrigation areas shall be capable of being operated by a computerized irrigation system which includes an onsite weather station/ET gage capable of reading current weather data and making automatic adjustments to independent program run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. These features will assist in conserving water, eliminating the potential of slope failures due to mainline breaks and eliminating over watering and flooding due to pipe and/or head breaks.

All landscaped areas shall be watered with a permanent underground irrigation system.

c. Maintenance Responsibility

Maintenance responsibility may consist of a variety of City and association types such as community facilities districts, business, recreation and commercial associations as well as private homeowners-associations. Master Plans defining ultimate maintenance responsibility will be created more precisely, focusing on each phase during the tentative map process as grading and lot configuration begins to be more precise.

All landscape areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Irrigation systems

shall be routinely inspected, repaired and maintained in an operating condition at all times. All walks shall be kept routinely free of litter and debris.

d. Outdoor Lighting

A master plan for street lighting will be created at the tentative map level for each phase of the Project and coordinated with the appropriate governing agencies. All streets and commercial developments in the Specific Plan shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Lighting fixtures shall be well integrated into the visual environment. Styles shall be selected that are complimentary to the overall Project theme of "River Ranch Trails." Reference Figure V-51, *Outdoor Lighting* for more detail.

e. Signage

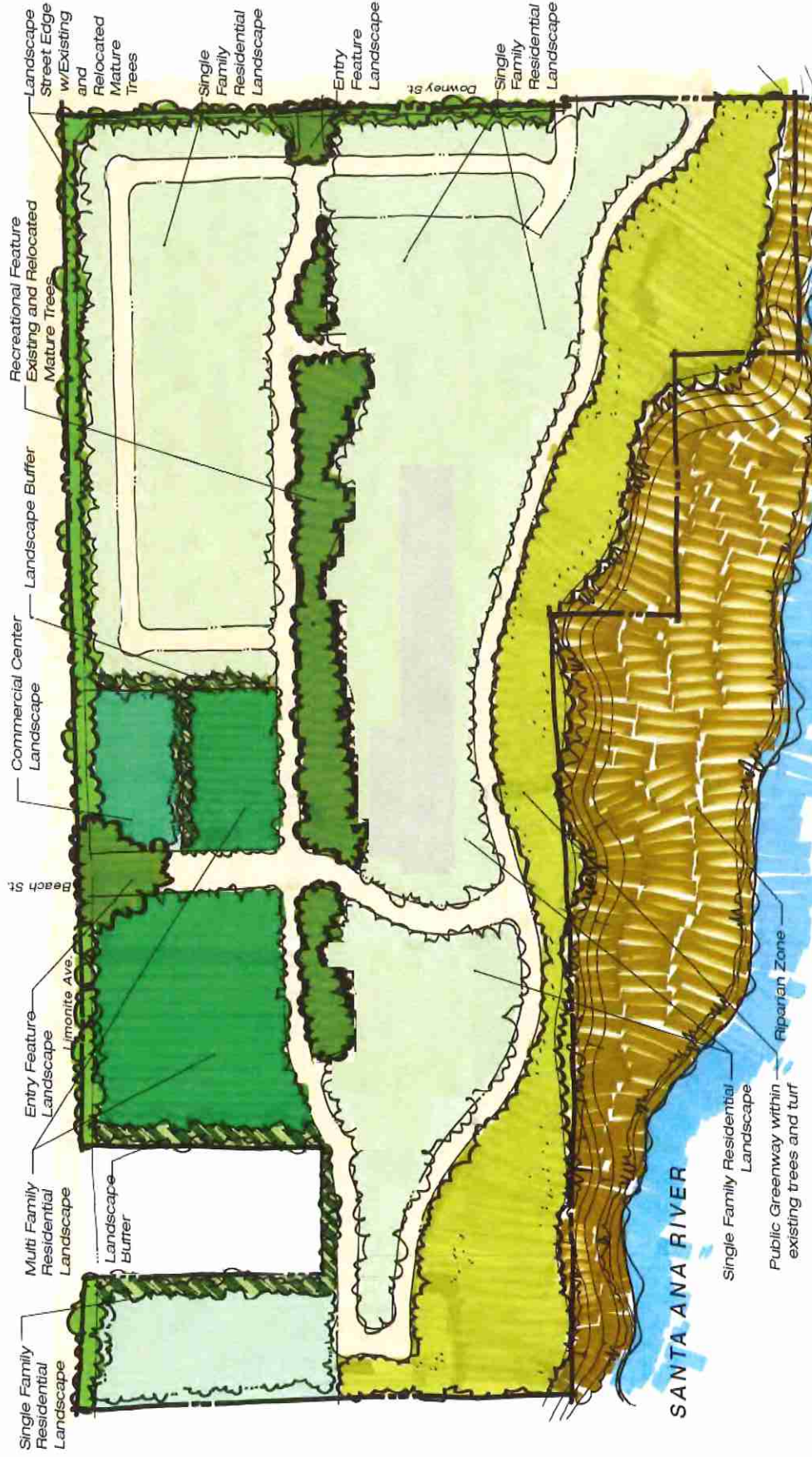
For conceptual thematic signage and monumentation refer to previous figures within this Specific Plan. Ultimate signage and monumentation locations will be established during the tentative map process as grading and lot configuration begins to be more precise. Within the tentative map process, lot configuration related to monument features and special signage will be coordinated with the appropriate governing agencies.

f. Mailboxes

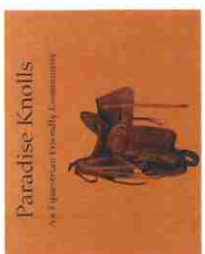
Once construction documents are underway, a mailbox master plan will be created and coordinated with the United States Postal Service, identifying type and location of mailbox structures. Figure V-52, *Typical Mail Boxes*. Style elements for the arbors shall include, but not be limited to: earth tones, pedestrian scale and massing, and planted with vines which are listed on the Project Plant Palette, Table V-1, Plant Palette.

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Section V: Landscape Design Guidelines



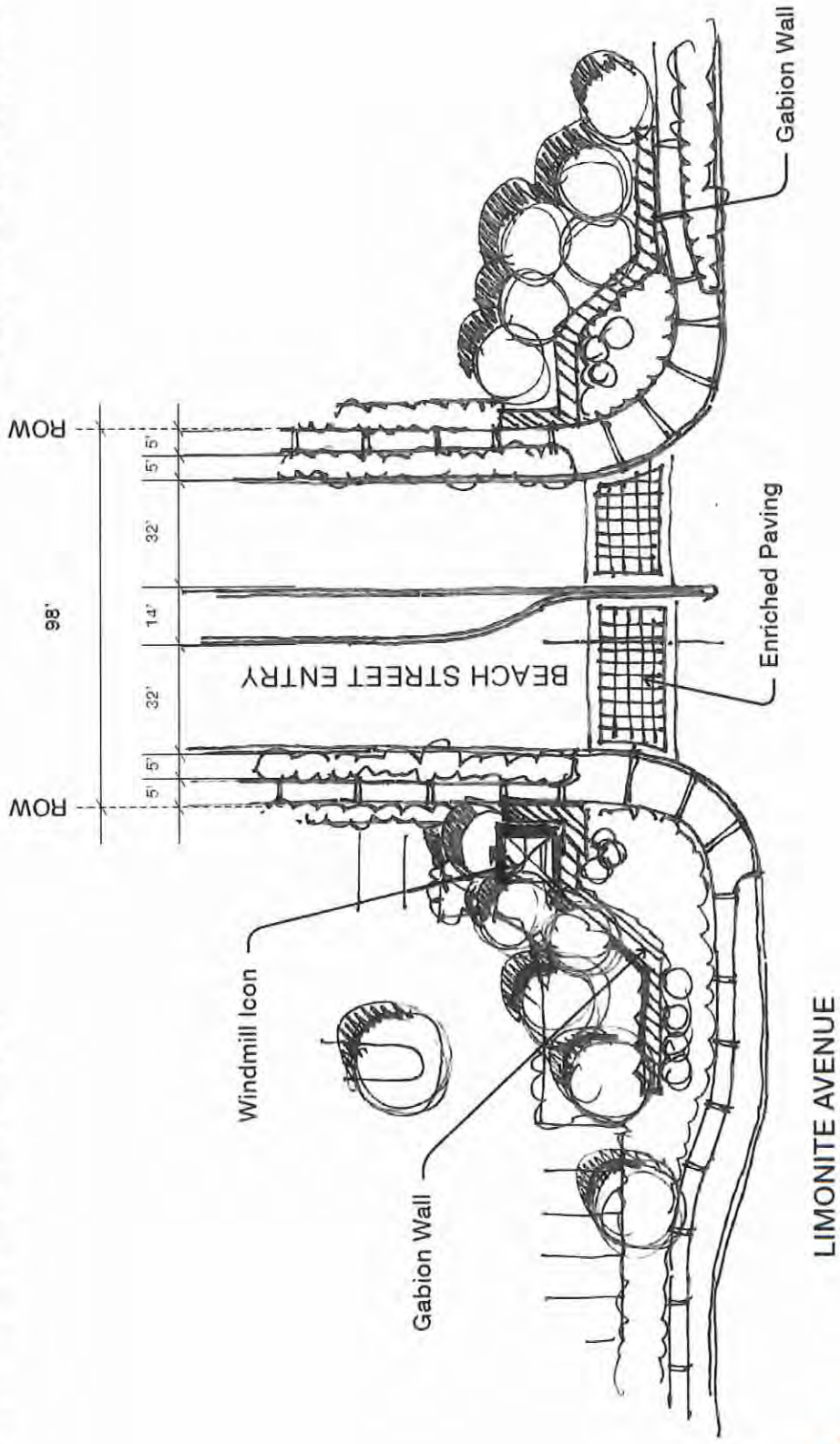
CONCEPTUAL LANDSCAPE PLAN - FIGURE V-19
Page V-85



Section V: Landscape Design Guidelines

NEIGHBORHOOD COMMERCIAL PA3

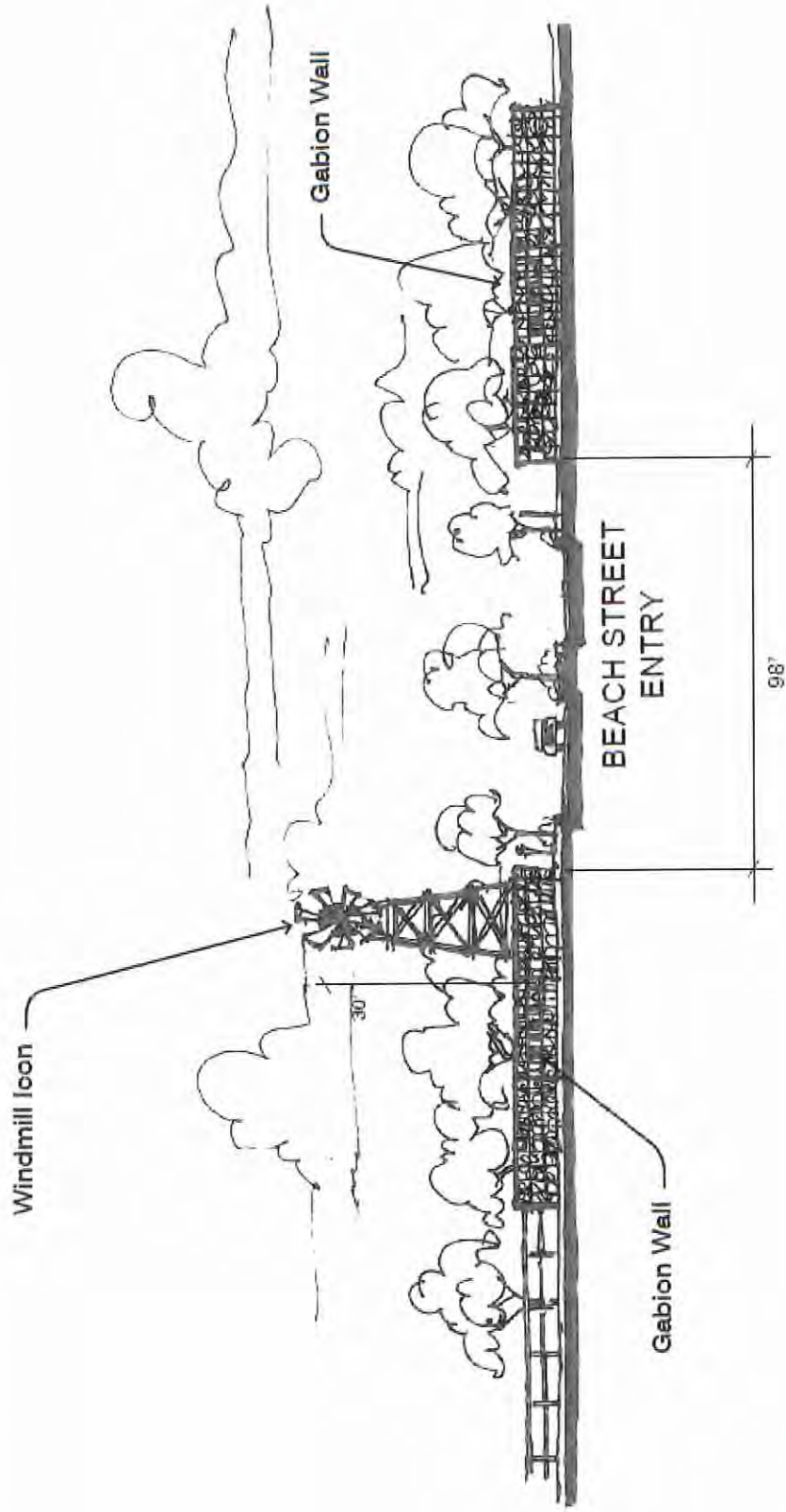
MULTI-FAMILY NEIGHBORHOOD PA2



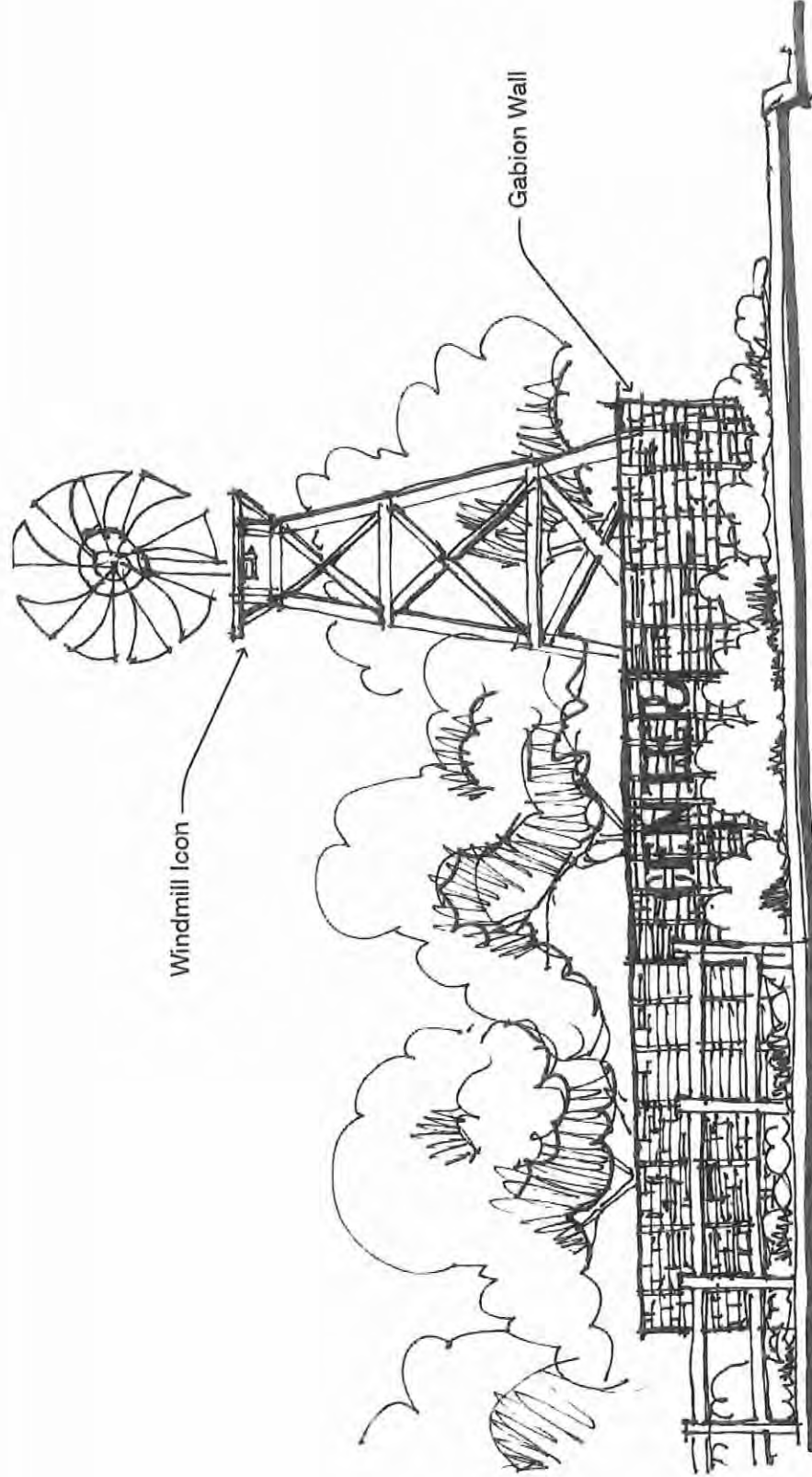
MAJOR ENTRY MONUMENTATION - FIGURE V-20a



Section V: Landscape Design Guidelines



Section : Landscape Design Guidelines



Windmill Icon

Gabion Wall

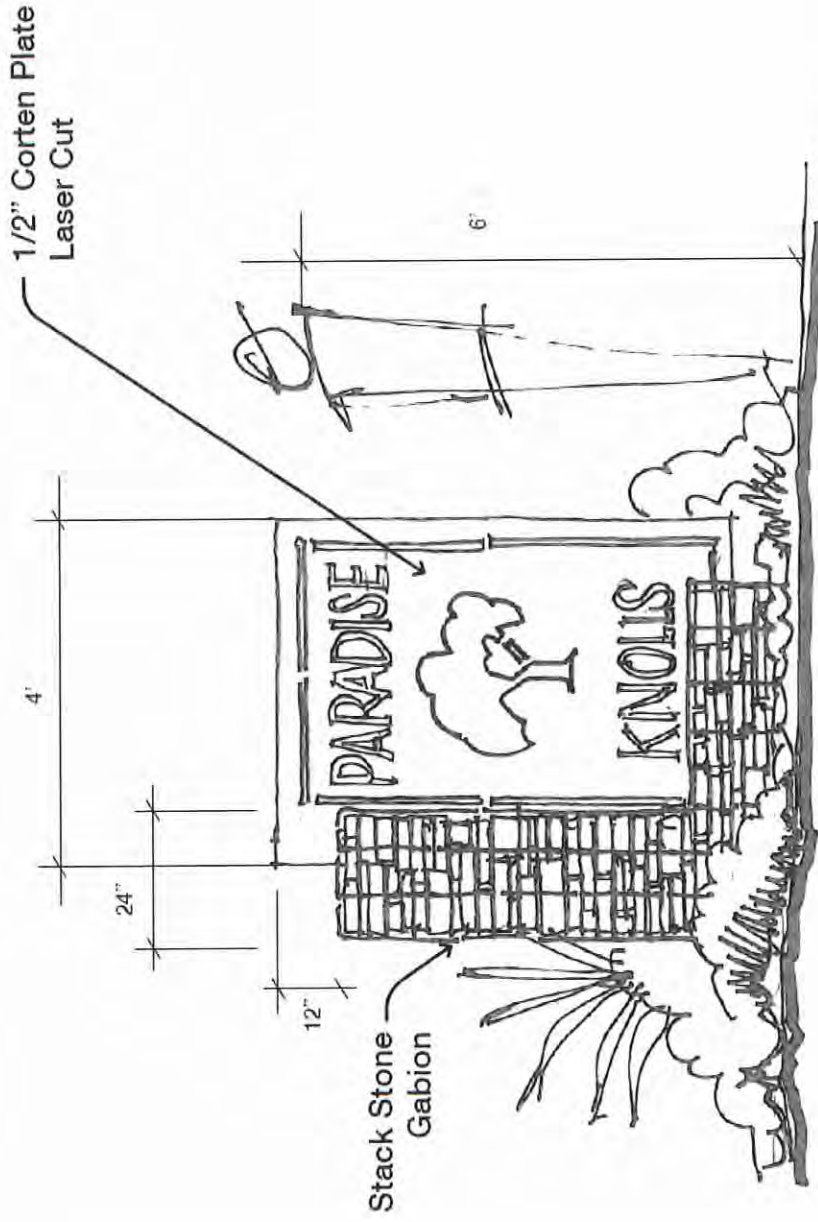
LIMONITE AVENUE

MAJOR ENTRY MONUMENTATION - FIGURE V-20c

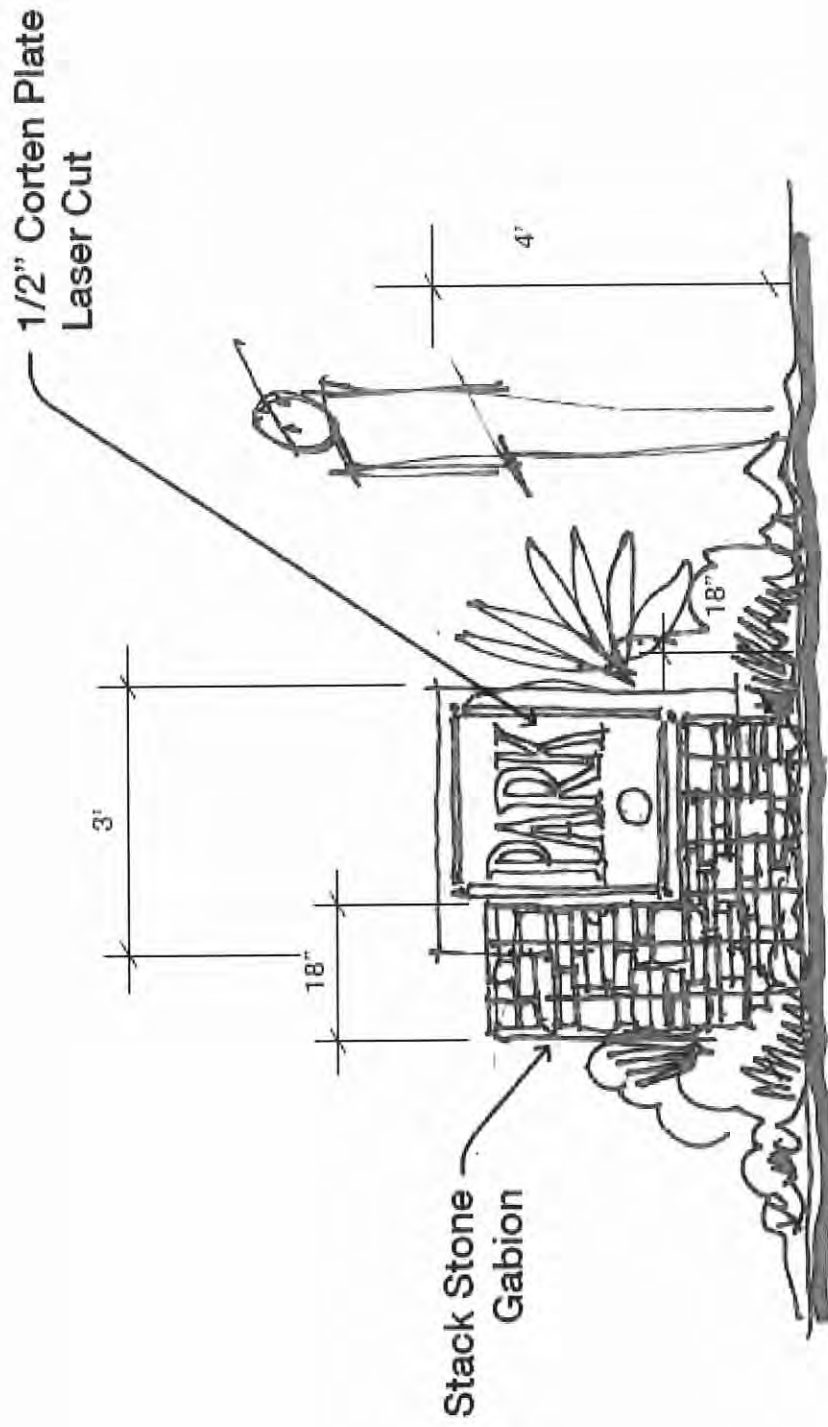
Page V-88

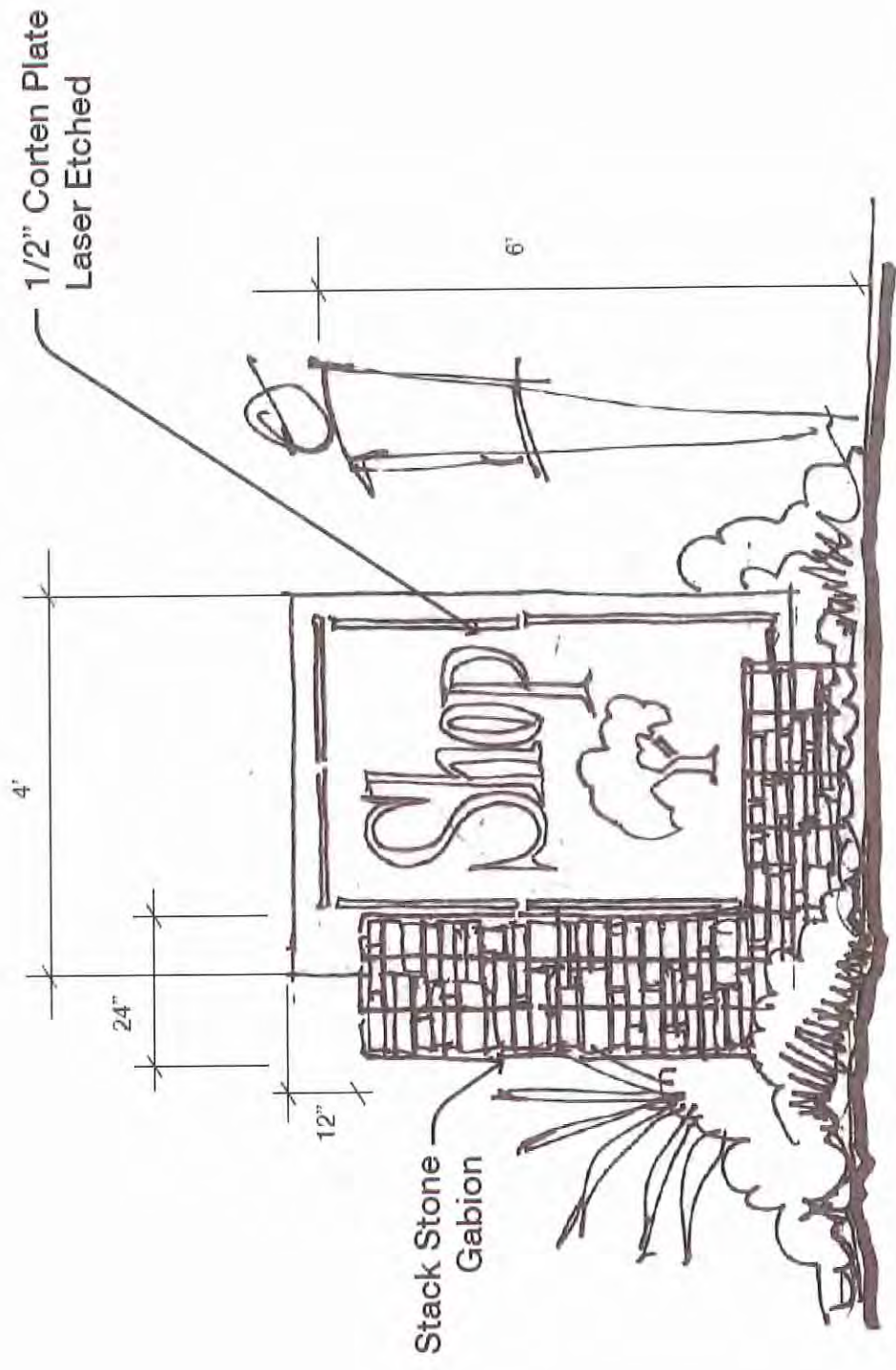


Section V: Landscape Design Guidelines

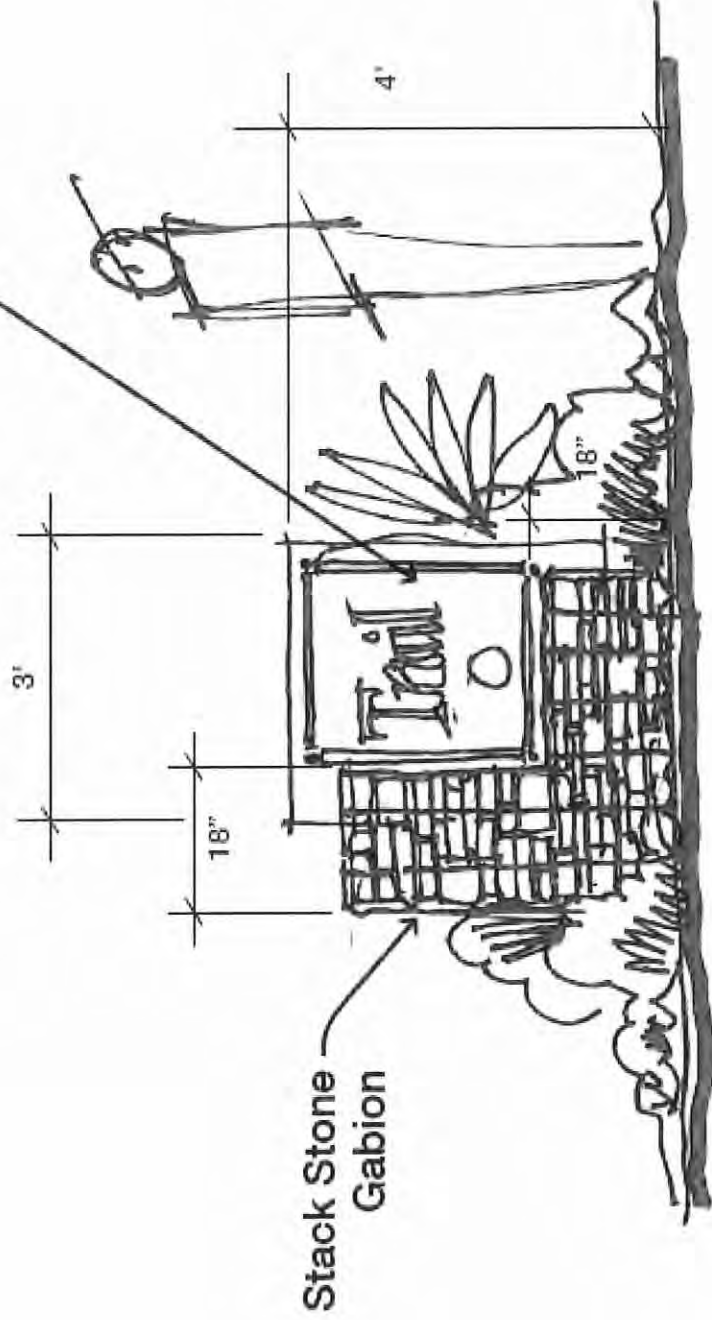


Section V: Landscape Design Guidelines





1/2" Corten Plate
Laser Cut



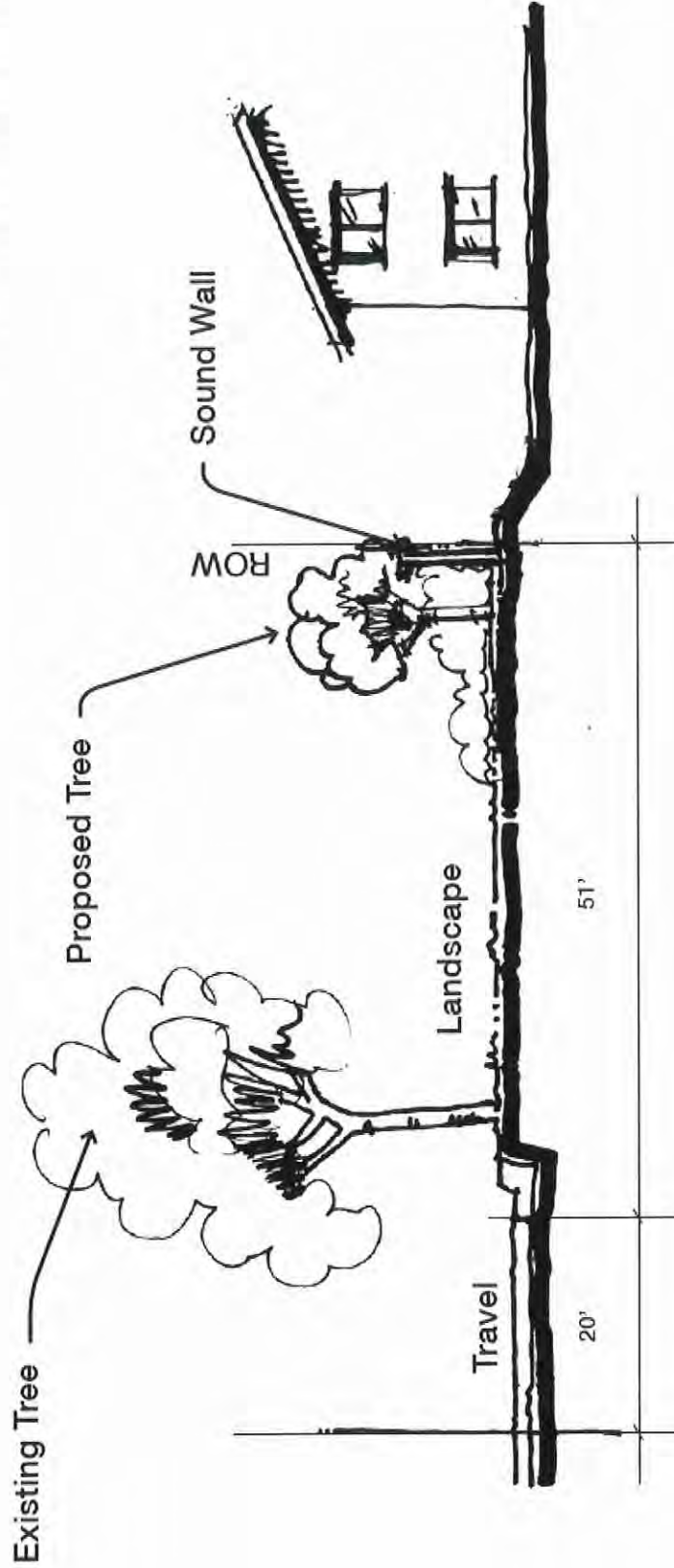
Section V: Landscape Design Guidelines



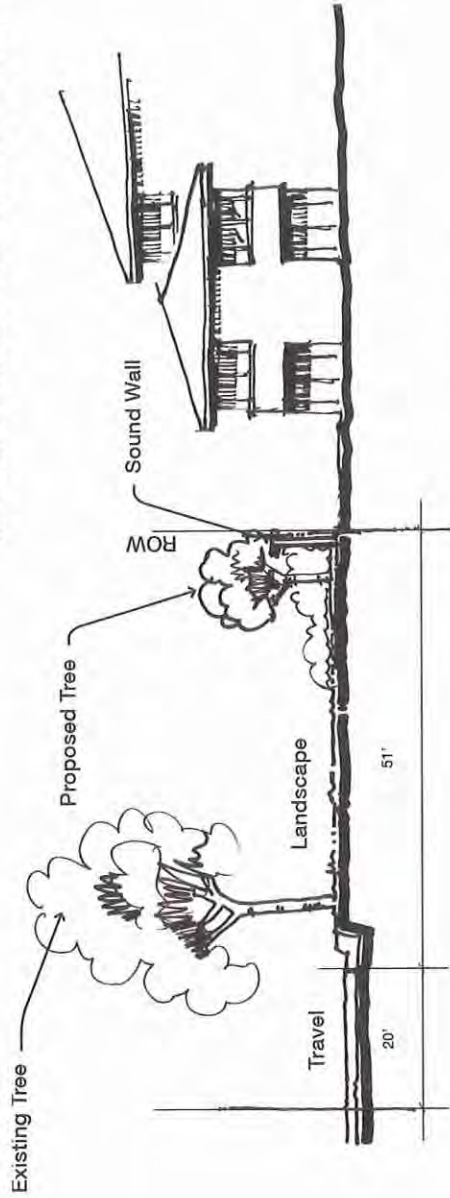
Final locations for street trees will be determined with Neighborhood Development Plans



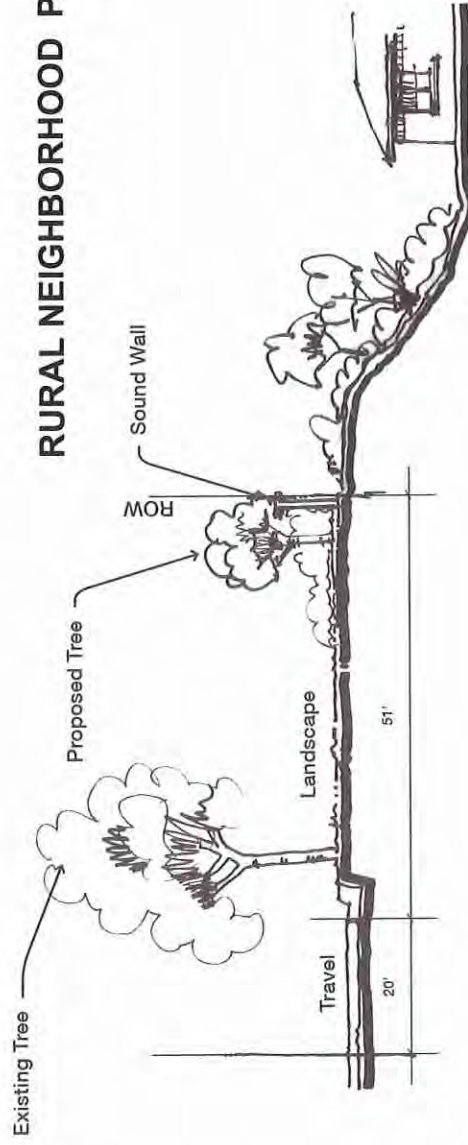
TRADITIONAL NEIGHBORHOOD PA1



MULTI-FAMILY NEIGHBORHOOD PA2



RURAL NEIGHBORHOOD PA4

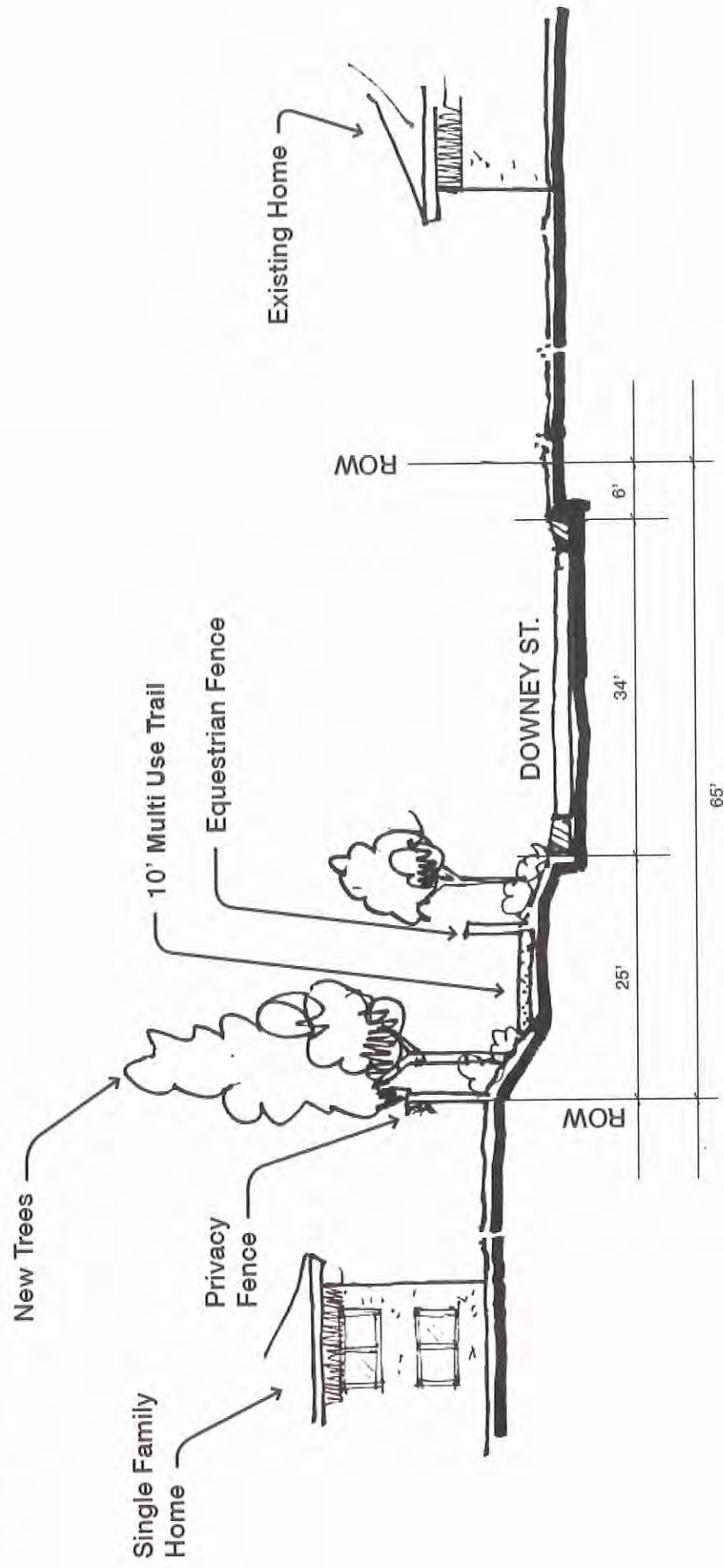


LIMONITE AVENUE WEST OF BEACH STREET ENTRY STREETSCAPE AND EDGE CONDITIONS- FIGURE V-27

For landscaping refer to Table V-1, Plant Palette.



TRADITIONAL NEIGHBORHOOD PA1

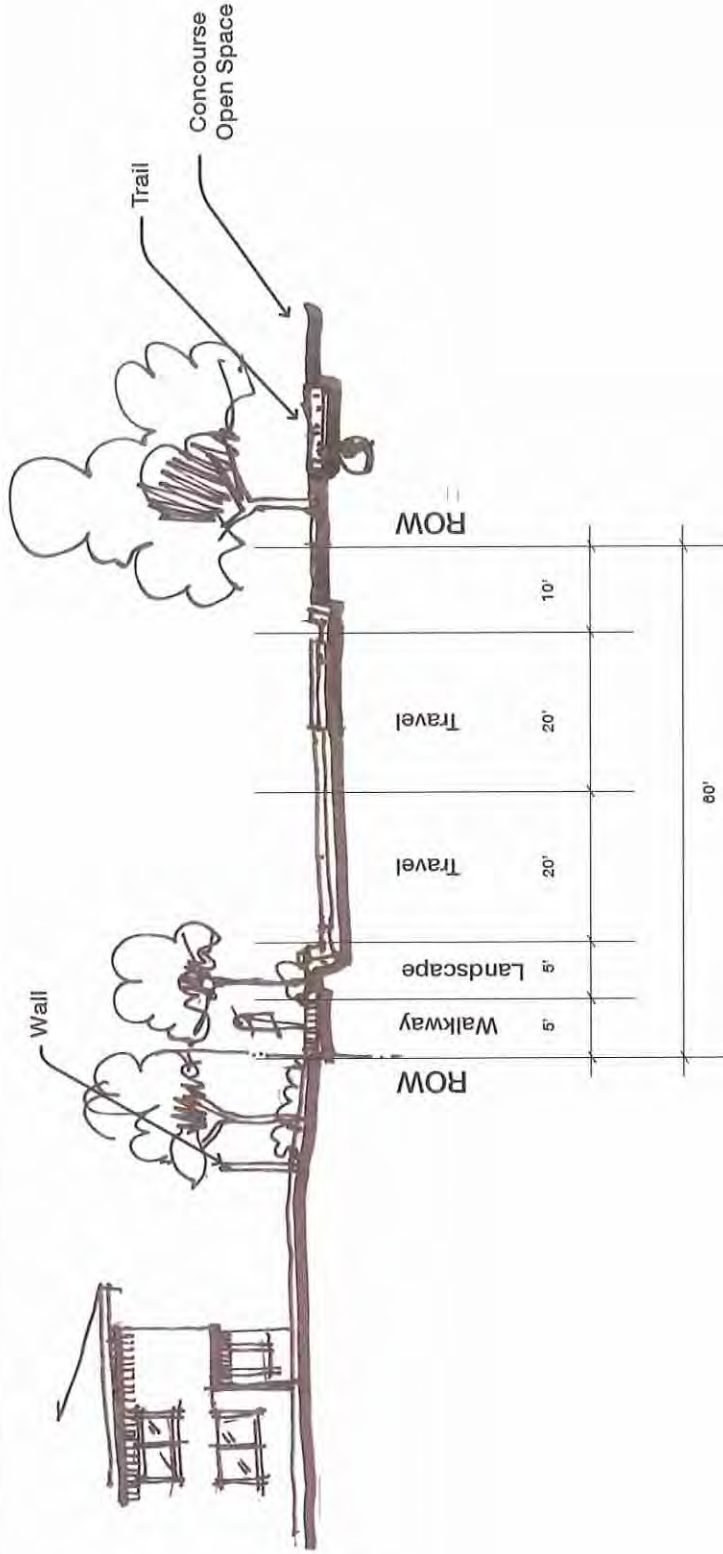


For landscaping refer to Table V-1, *Plant Palette*.
On-street parking will be permitted on the PA1 side of Downey Street.

DOWNEY STREET STREETSCAPE AND EDGE CONDITION- FIGURE V-28



MULTI-FAMILY NEIGHBORHOOD PA2



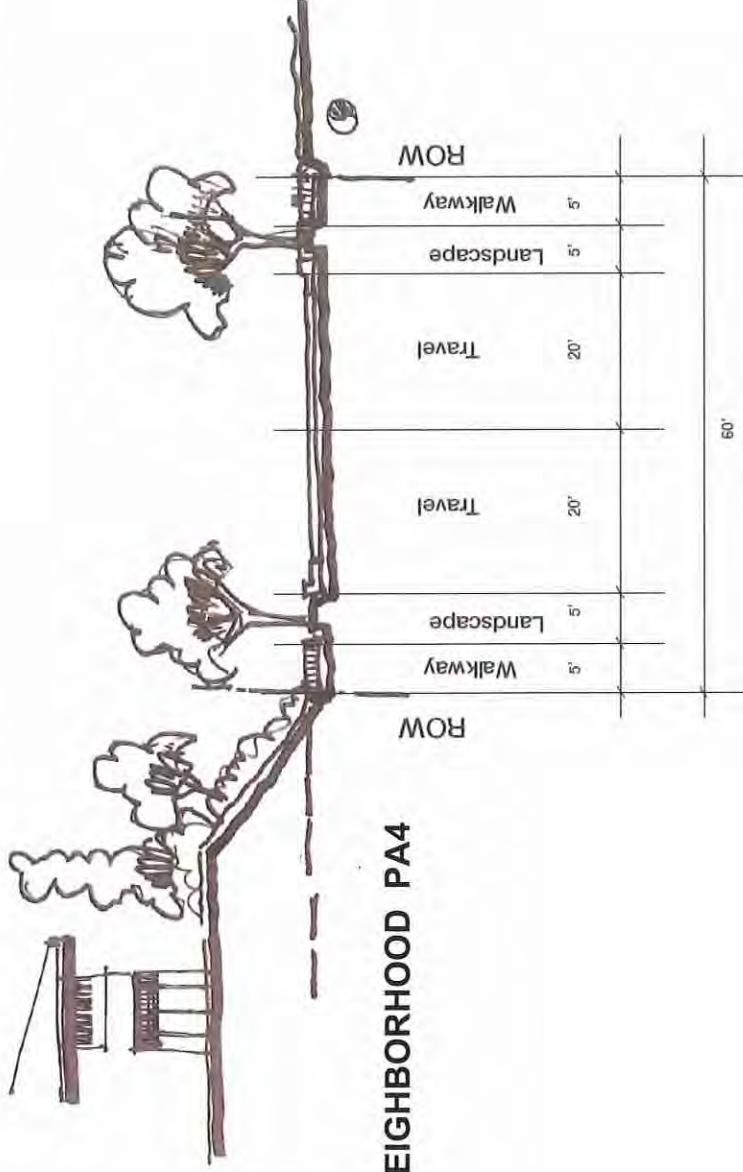
For landscaping refer to Table V-1, *Plant Palette*.

"A" STREET ADJACENT TO PA5 CONCOURSE STREETSCAPE AND EDGE CONDITION - FIGURE V-29



MUTLI-FAMILY NEIGHBORHOOD PA2

VILLAGE NEIGHBORHOOD PA5



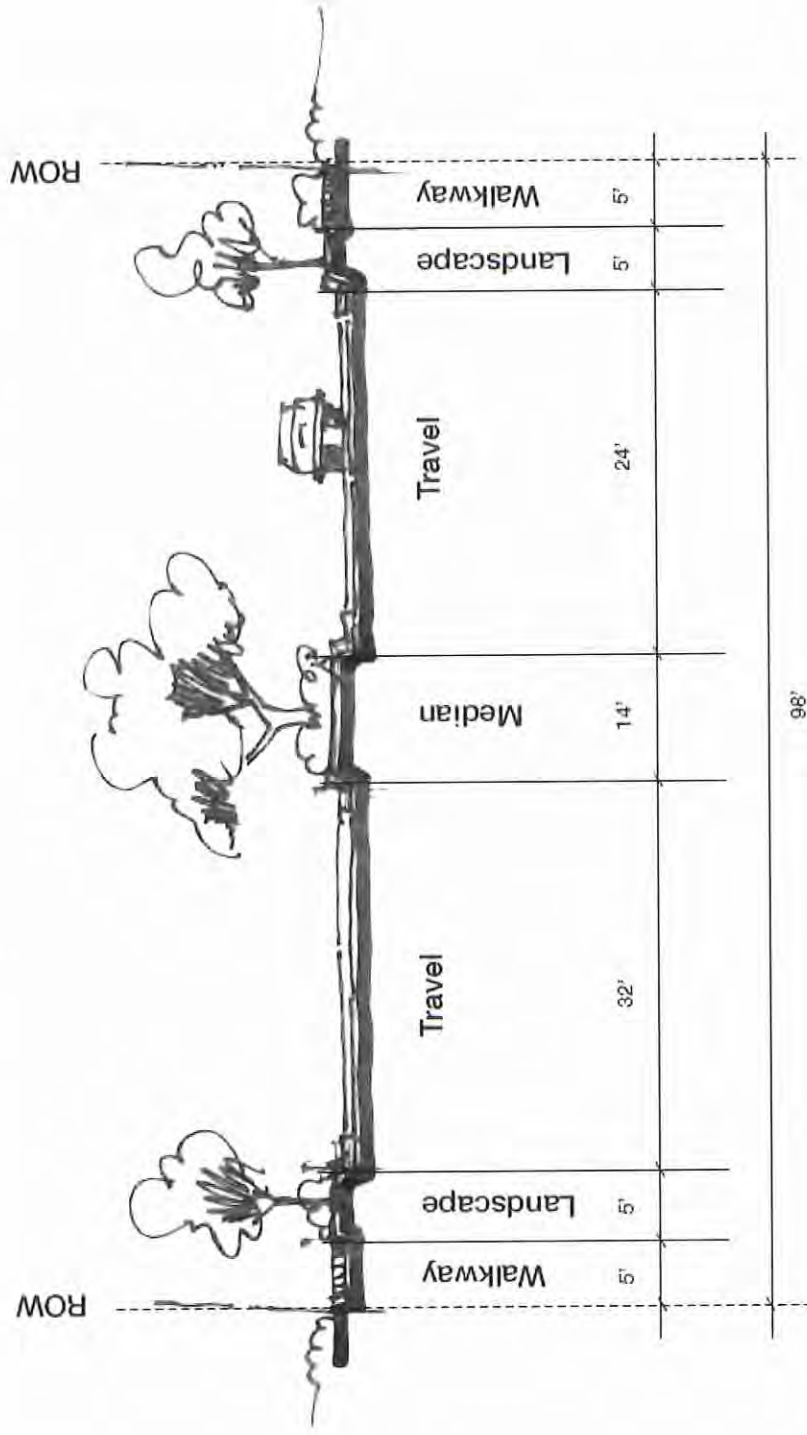
"A" STREET EAST AND WEST OF PA5 CONCOURSE
STREETSCAPE AND EDGE CONDITION - FIGURE V-30

For landscaping refer to Table V-1, Plant Palette.



NEIGHBORHOOD COMMERCIAL PA3

MUTLI-FAMILY NEIGHBORHOOD PA2



For landscaping refer to Table V-1, *Plant Palette*.

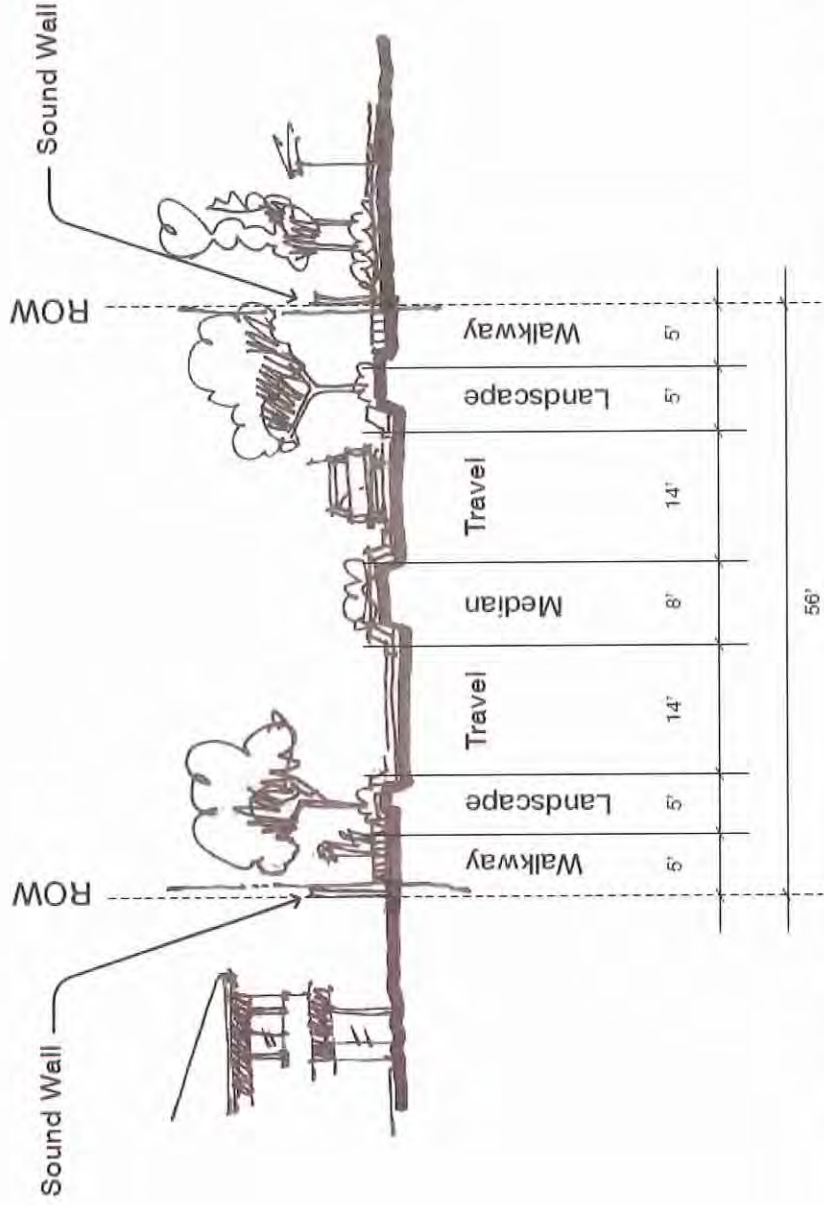
No on-street parking will be permitted.

BEACH STREET ENTRY STREETSCAPE AND EDGE
CONDITION - FIGURE V-31



VILLAGE NEIGHBORHOOD PA5

VILLAGE NEIGHBORHOOD PA5



For landscaping refer to Table V-1, *Plant Palette*.

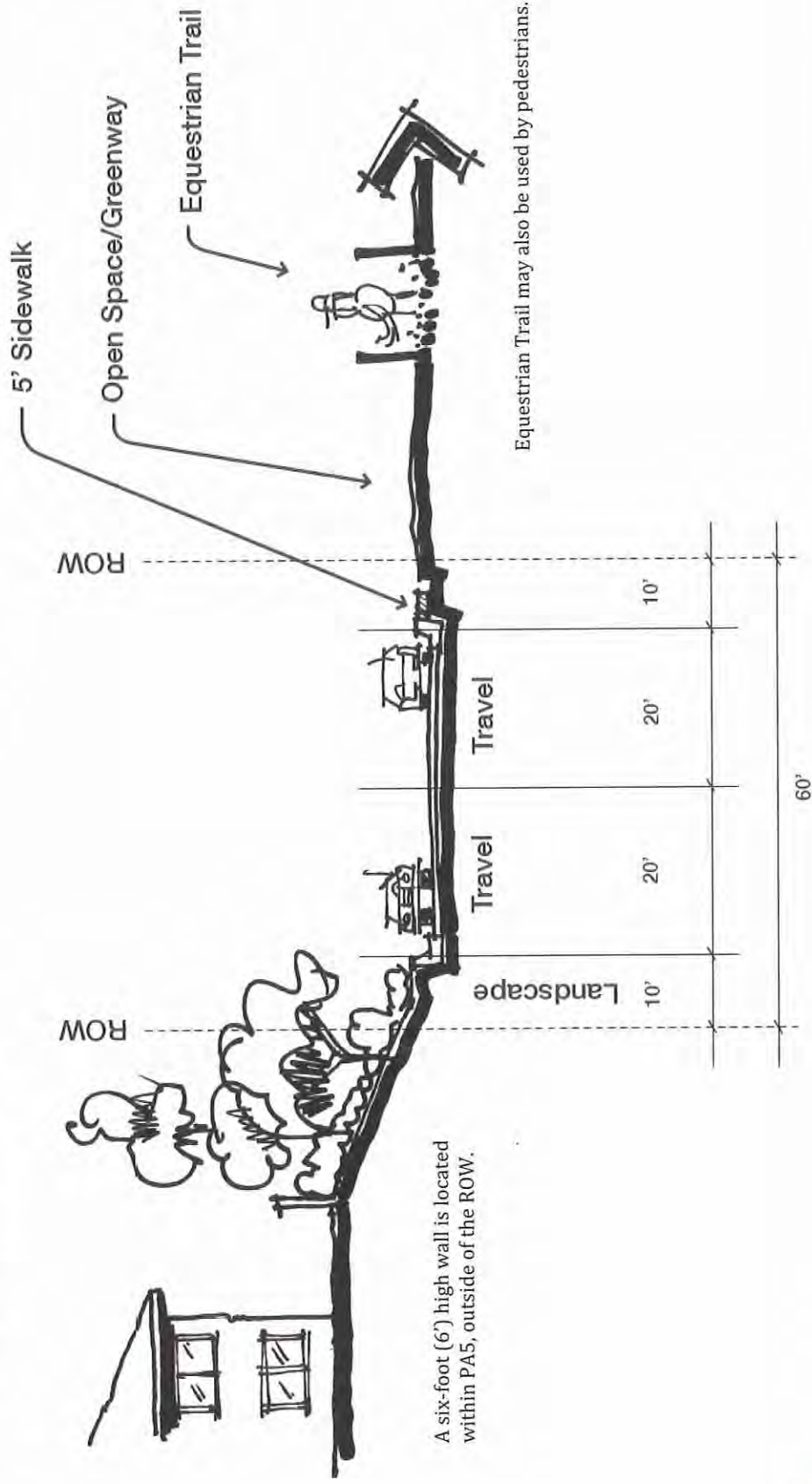
No on-street parking will be permitted.

BEACH STREET, SOUTH OF "A" STREET STREETSCAPE
AND EDGE CONDITION - FIGURE V-32



VILLAGE NEIGHBORHOOD PA5

GREENBELT, OPEN SPACE, RECREATION PA6



For landscaping refer to Table V-1, *Plant Palette*.

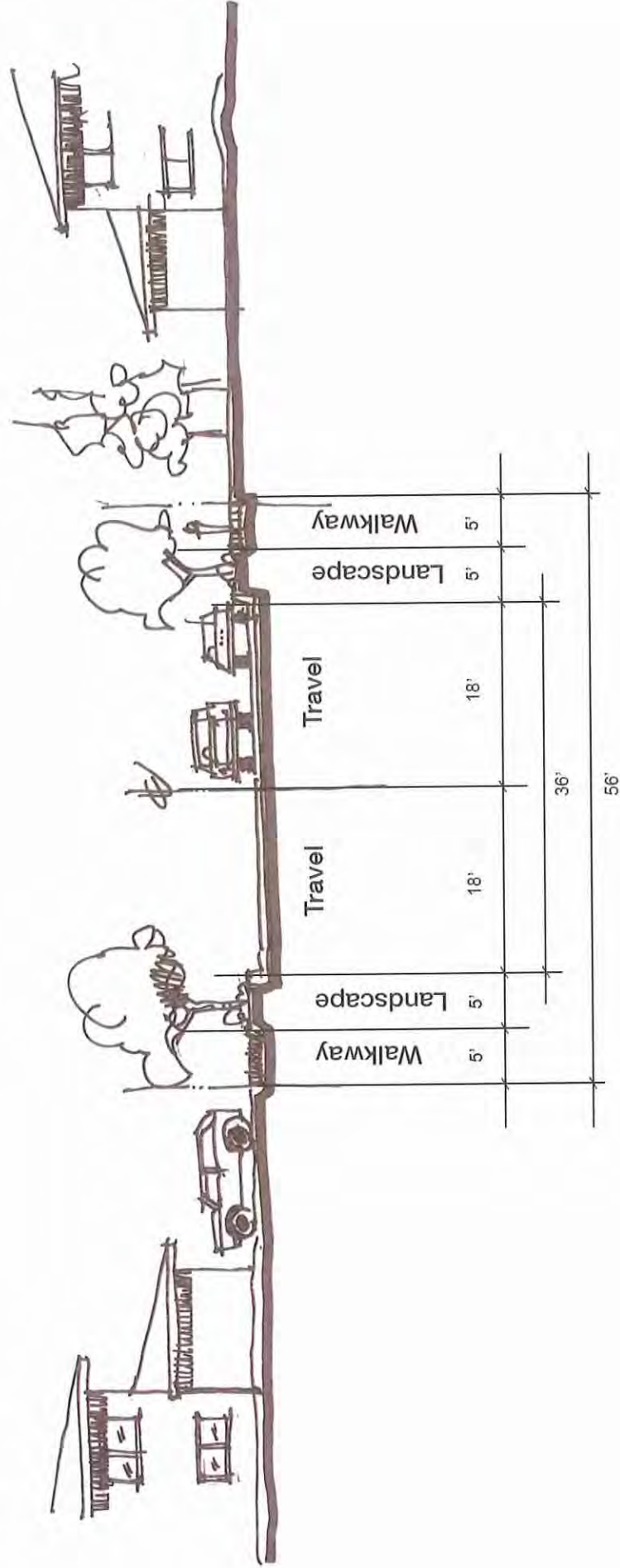
On-street parking will be allowed on the PA6 side of "B" Street.



Section V: Landscape Design Guidelines

TRADITIONAL NEIGHBORHOOD PA1

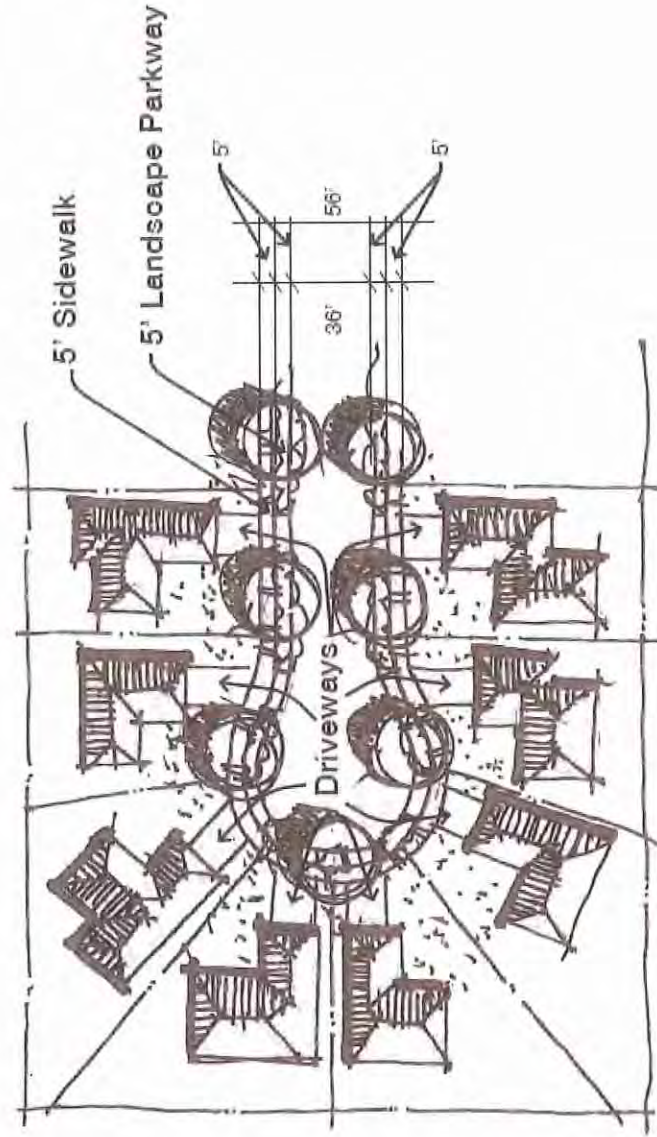
TRADITIONAL NEIGHBORHOOD PA1



For landscaping refer to Table V-1, Plant Palette.



TRADITIONAL NEIGHBORHOOD PA1



For landscaping refer to Table V-1, *Plant Palette*.



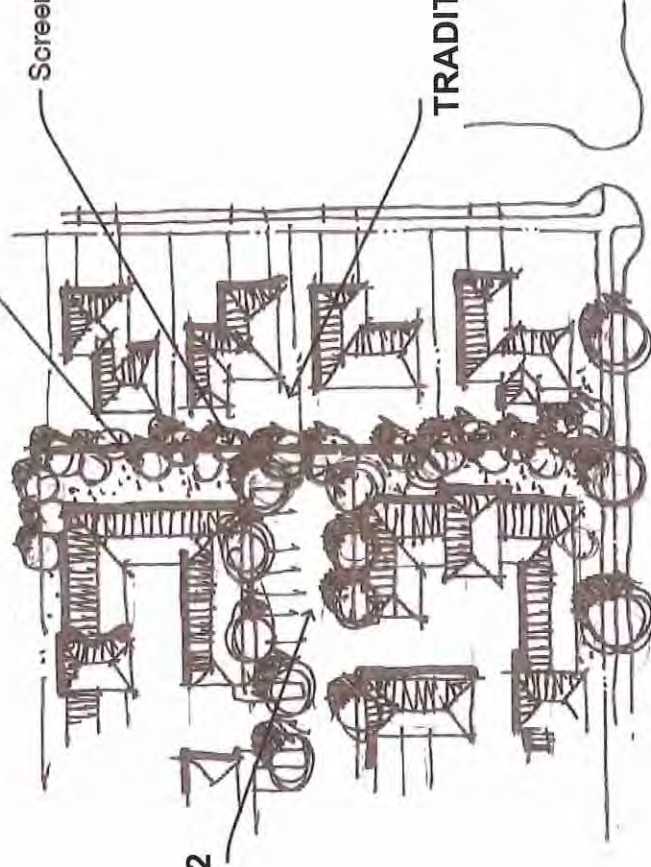
Section V: Landscape Design Guidelines

6' Masonry Sound/
Screen Wall

Screen Tree Planting

TRADITIONAL NEIGHBORHOOD PA1

MUTLI-FAMILY NEIGHBORHOOD PA2

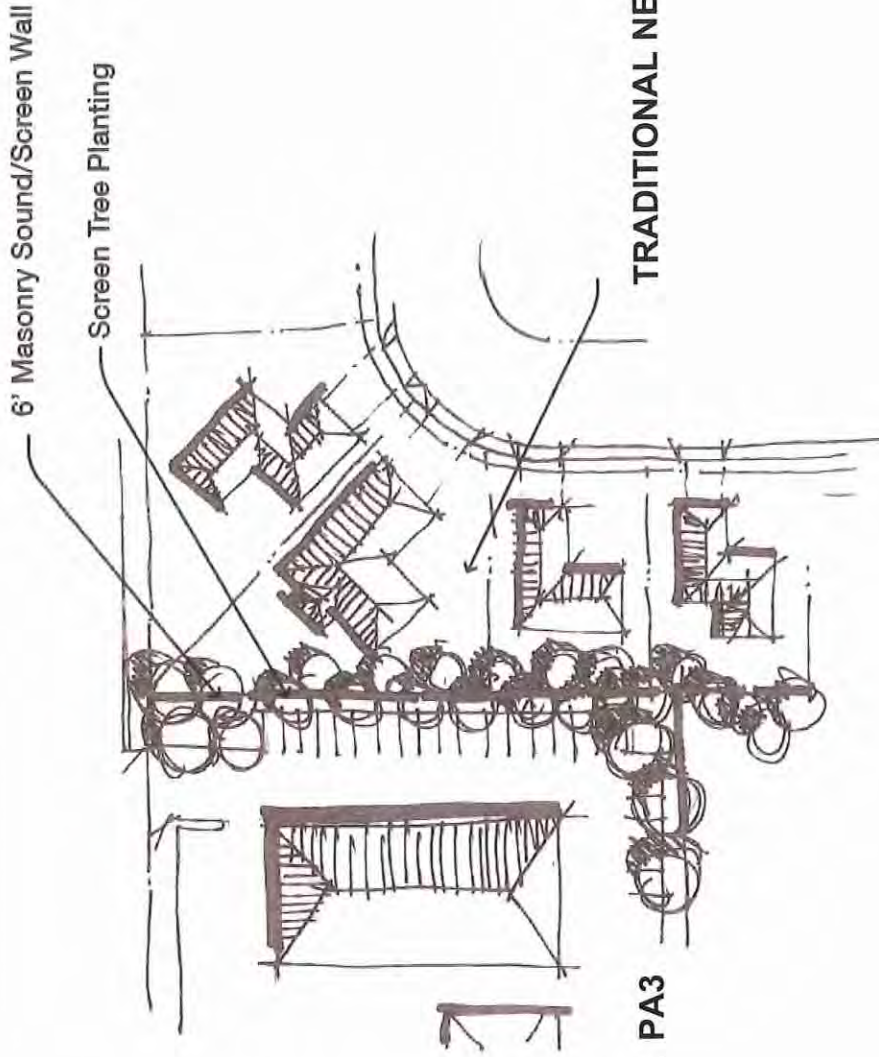


For landscaping refer to Table V-1, Plant Palette.

TRADITIONAL NEIGHBORHOOD PA1 (MDR) - MULTI-FAMILY
NEIGHBORHOOD PA2 (HDR) EDGE CONDITION - FIGURE V-36



Section V: Landscape Design Guidelines



6' Masonry Sound/Screen Wall

Screen Tree Planting

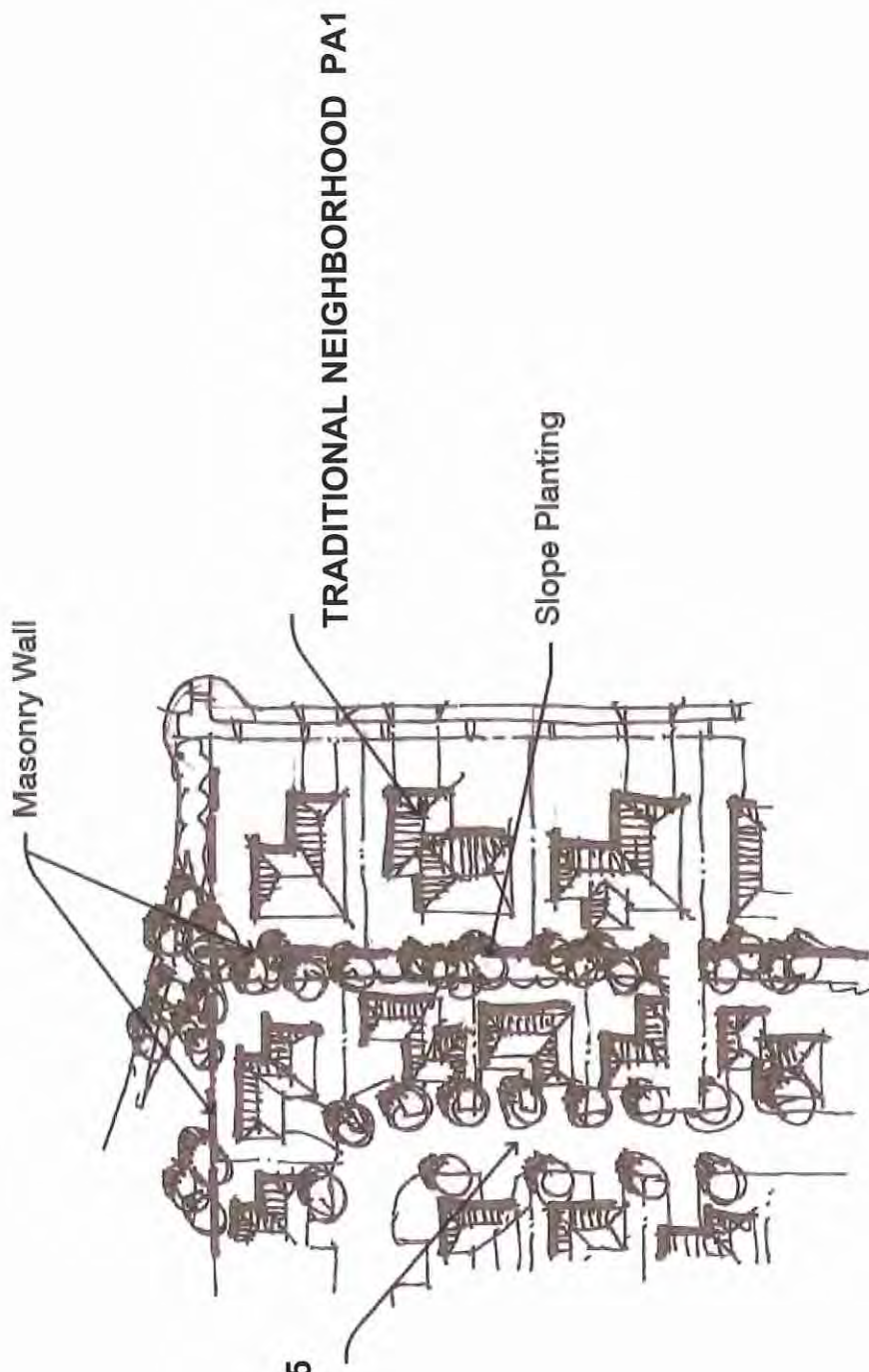
NEIGHBORHOOD COMMERCIAL PA3

TRADITIONAL NEIGHBORHOOD PA1



For landscaping refer to Table V-1, Plant Palette.

TRADITIONAL NEIGHBORHOOD PA1 (MDR) - NEIGHBORHOOD
COMMERCIAL PA3 EDGE CONDITION - FIGURE V-37



VILLAGE NEIGHBORHOOD PA5

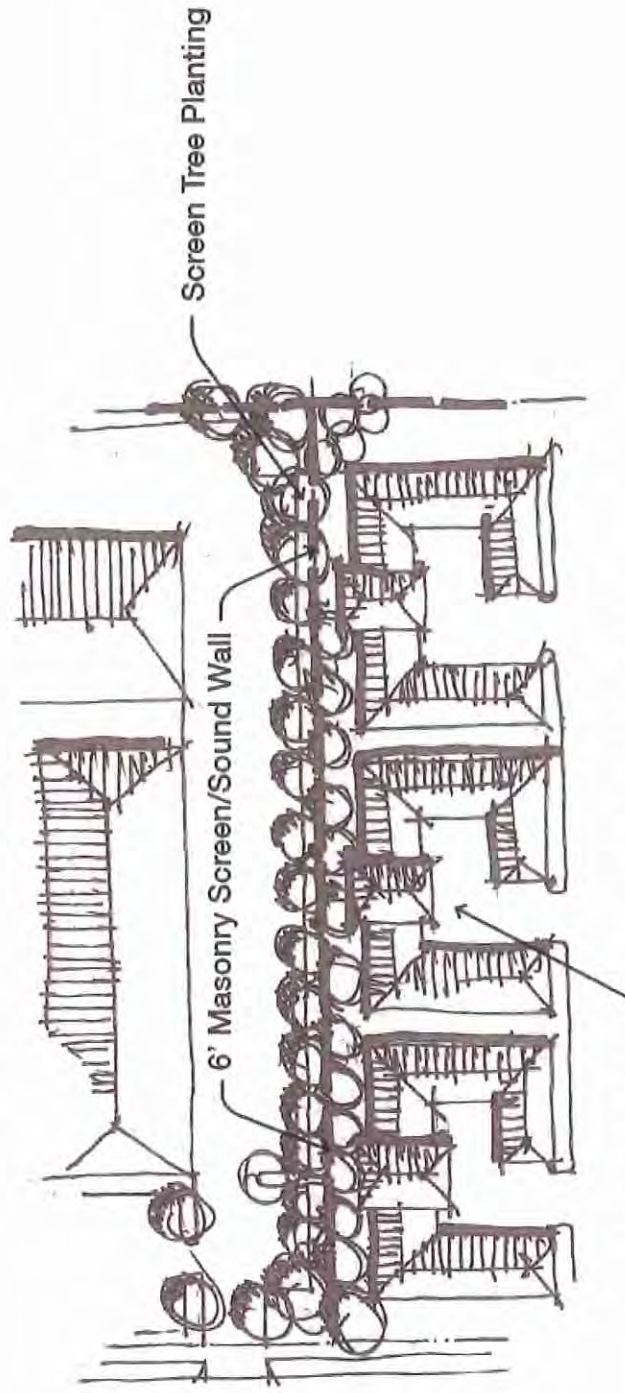
TRADITIONAL NEIGHBORHOOD PA1

For landscaping refer to Table V-1, *Plant Palette*.

TRADITIONAL NEIGHBORHOOD PA1 (MDR) - VILLAGE
NEIGHBORHOOD PA5 (MHDR) EDGE CONDITION - FIGURE V-38



NEIGHBORHOOD COMMERCIAL PA3



MULTI-FAMILY NEIGHBORHOOD PA2

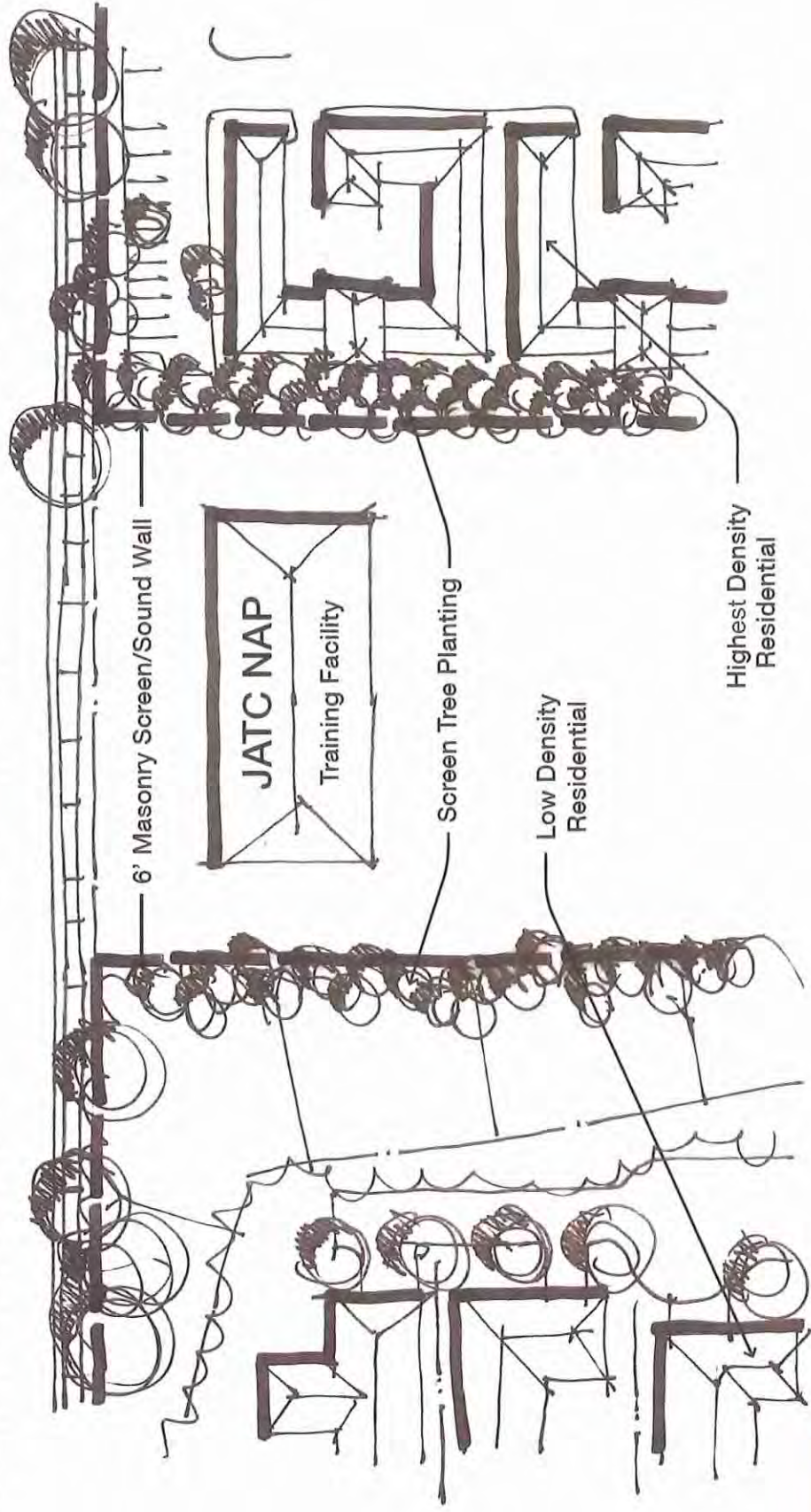


For landscaping refer to Table V-1, *Plant Palette*.

RURAL NEIGHBORHOOD PA4

LIMONITE AVENUE

MULTI-FAMILY NEIGHBORHOOD PA2



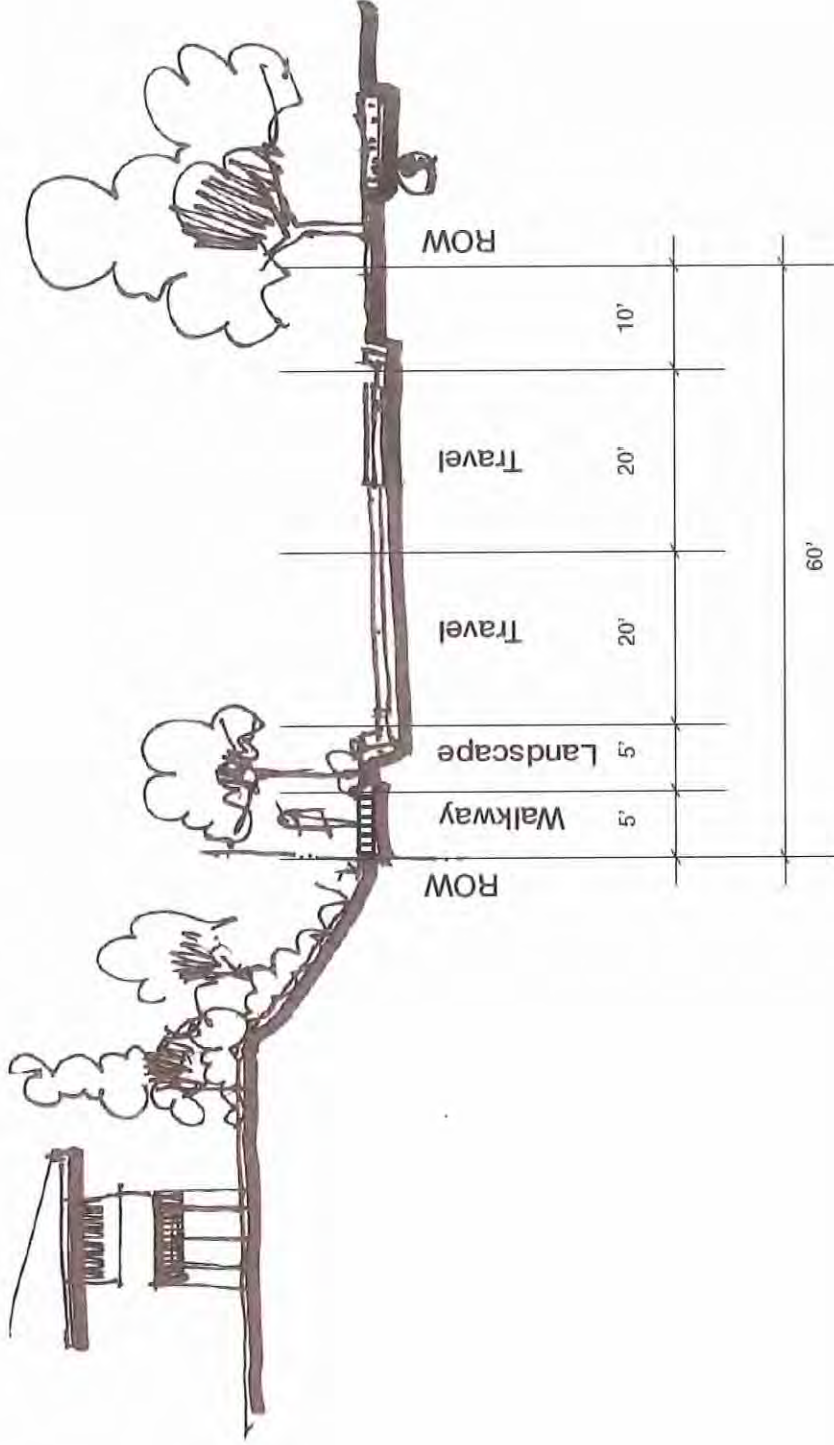
For landscaping refer to Table V-1, Plant Palette.

MULTI-FAMILY NEIGHBORHOOD PA2 (HDR) AND RURAL NEIGHBORHOOD PA4 (LDR) - TRAINING FACILITY EDGE CONDITION - FIGURE V-40



Section V: Landscape Design Guidelines

MUTLI-FAMILY NEIGHBORHOOD PA2

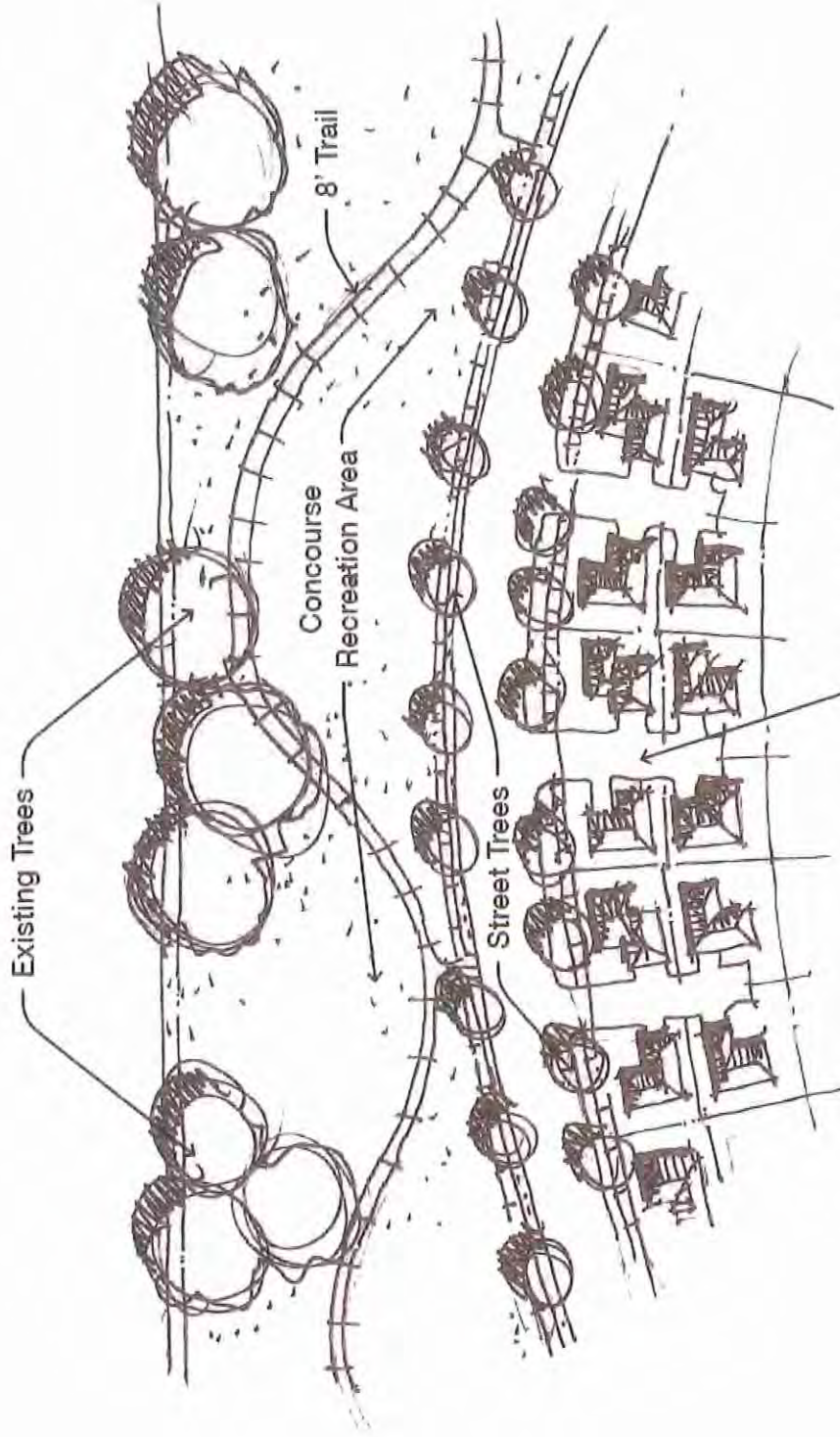


VILLAGE NEIGHBORHOOD PA5

For landscaping refer to Table V-1, *Plant Palette*.

MULTI-FAMILY NEIGHBORHOOD PA2 (HDR) - PA5 OPEN SPACE -
RECREATIONAL CONCOURSE EDGE CONDITION - FIGURE V-41





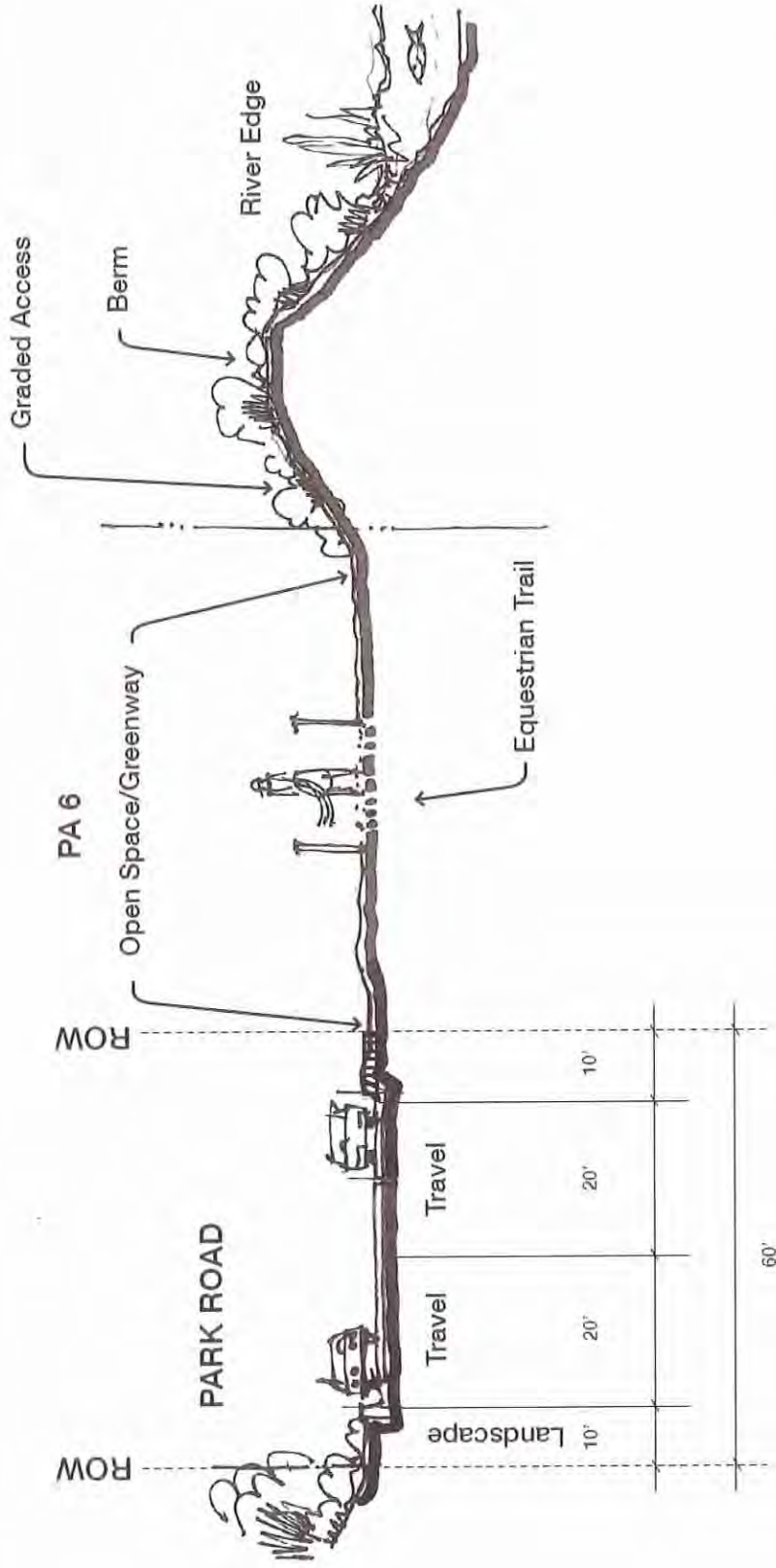
VILLAGE NEIGHBORHOOD PA5

For landscaping refer to Table V-1, *Plant Palette*.



VILLAGE NEIGHBORHOOD PA5

GREENBELT, OPEN SPACE, RECREATION PA6



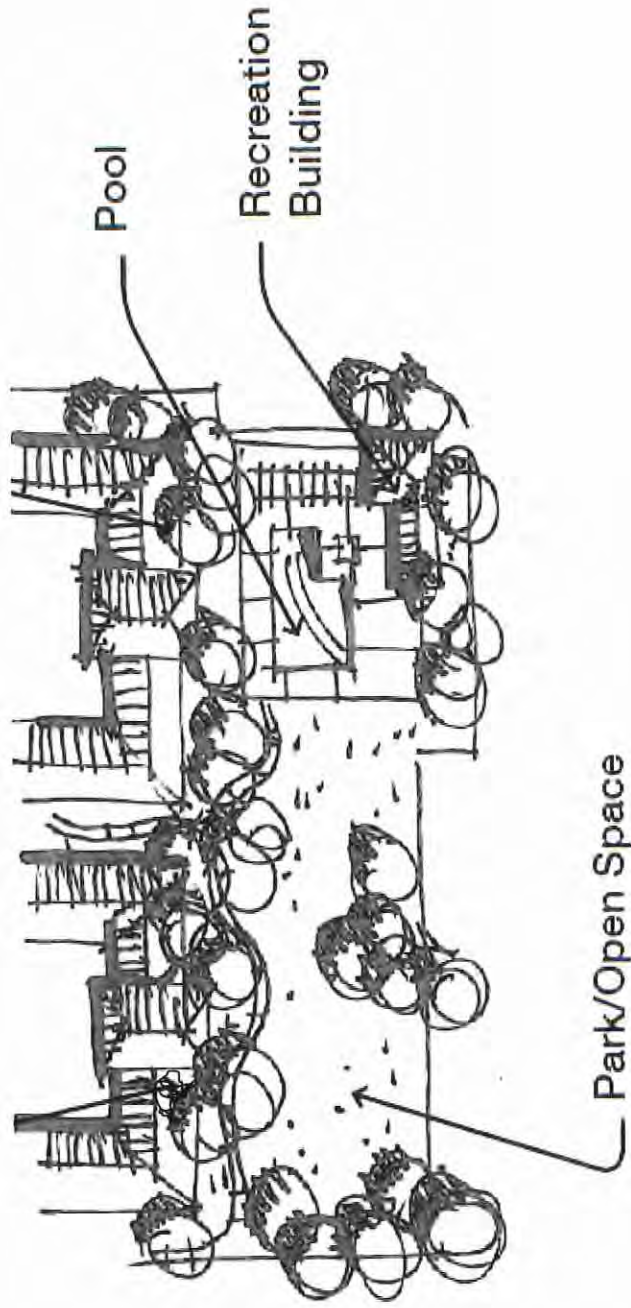
For landscaping refer to Table V-1, *Plant Palette*.

Equestrian Trail may also be used by pedestrians.

VILLAGE NEIGHBORHOOD PA5 (MHDR) - GREENBELT, OPEN SPACE, RECREATION PA6/SANTA ANA RIVER EDGE CONDITION - FIGURE V-43
Page V-111



MUTLI-FAMILY NEIGHBORHOOD PA2

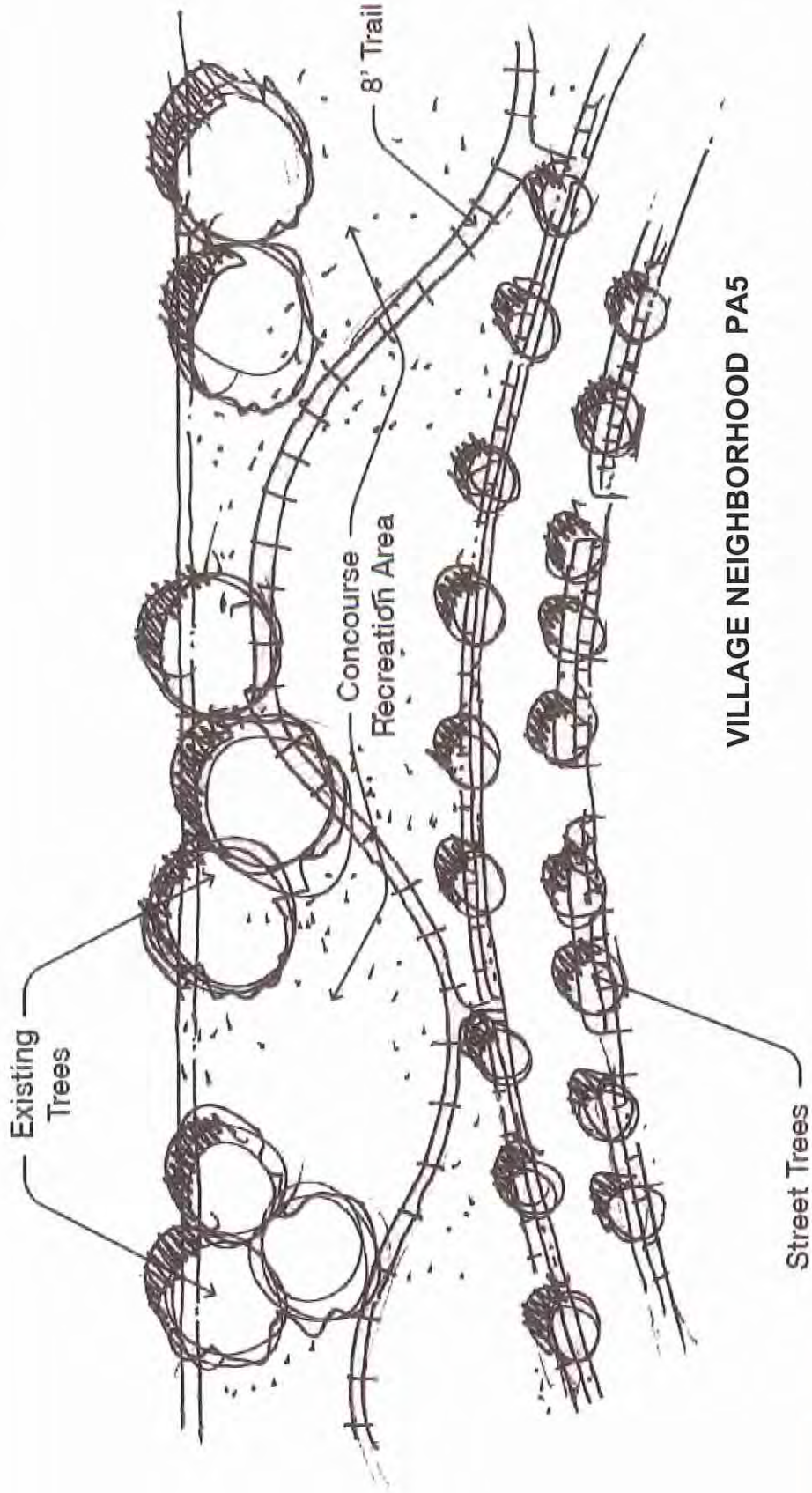


For landscaping refer to Table V-1, *Plant Palette*.

PA2 PRIVATE RECREATION AREAS - FIGURE V-44



Section V: Landscape Design Guidelines

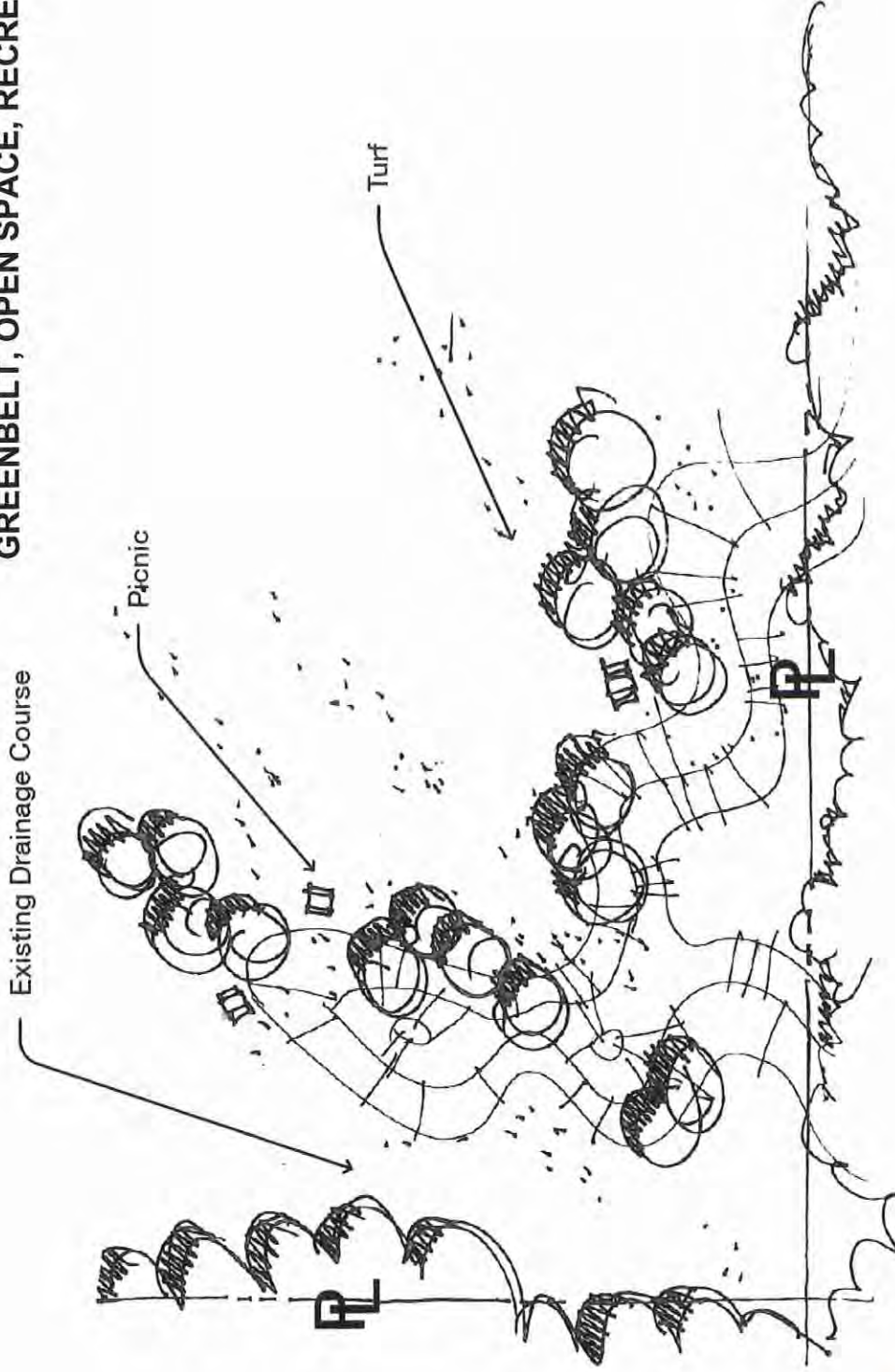


VILLAGE NEIGHBORHOOD PA5

For landscaping refer to Table V-1, *Plant Palette*.



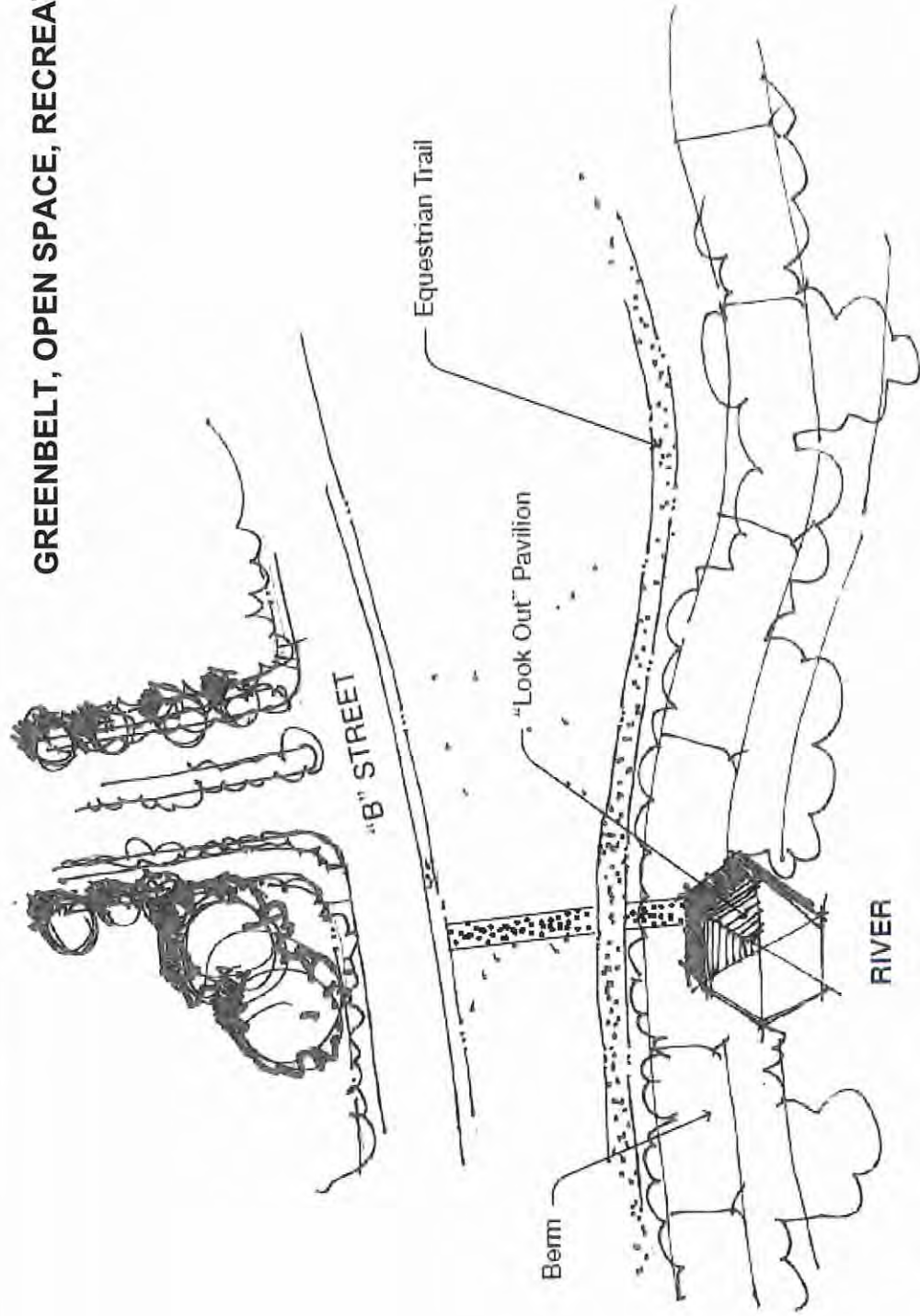
GREENBELT, OPEN SPACE, RECREATION PA6



For landscaping refer to Table V-1, *Plant Palette*.



GREENBELT, OPEN SPACE, RECREATION PA6

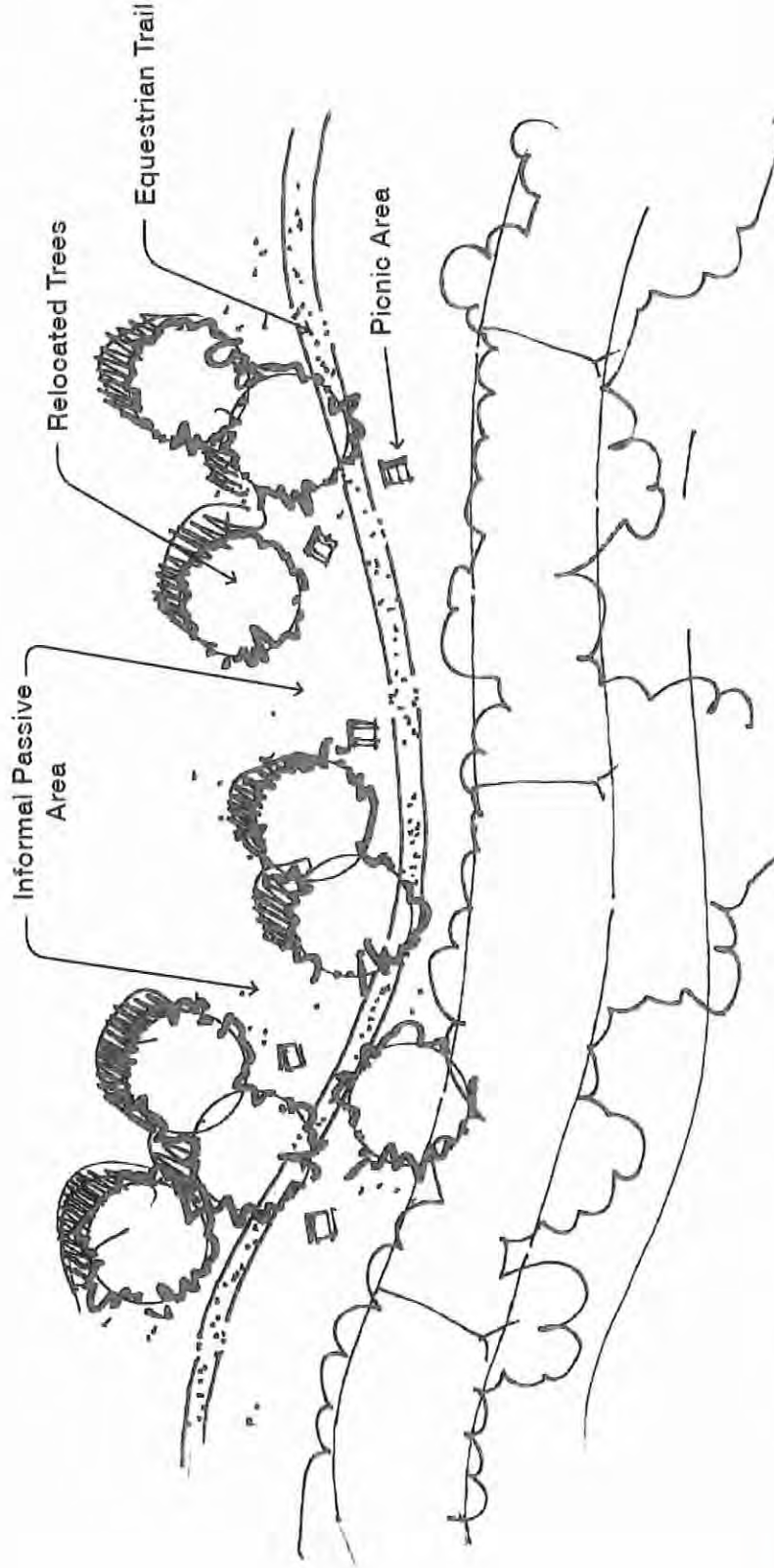


For landscaping refer to Table V-1, *Plant Palette*.

Equestrian Trail may also be used by pedestrians.



GREENBELT, OPEN SPACE, RECREATION PA6

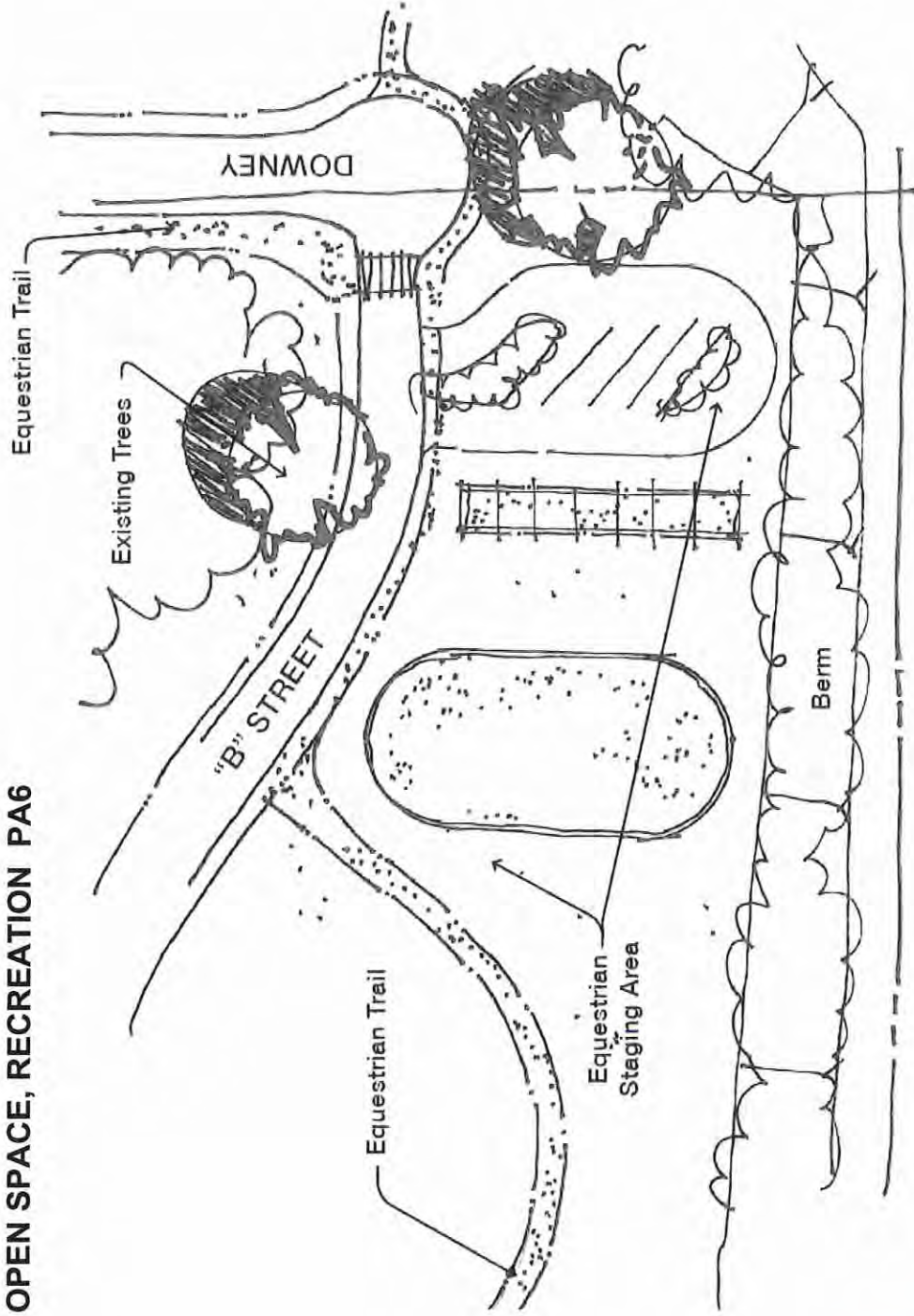


For landscaping refer to Table V-1, *Plant Palette*.

Equestrian Trail may also be used by pedestrians.



GREENBELT, OPEN SPACE, RECREATION PA6



For landscaping refer to Table V-1, *Plant Palette*.

Equestrian Trail may also be used by pedestrians.



Section V: Landscape Design Guidelines



Crookneck Trail Lighting



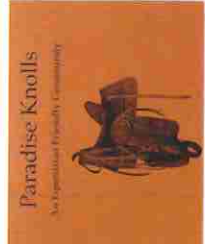
Bollard Style Trail Light



Rustic Trail Lighting

Trail lighting fixtures shall be subject to the following criteria:

1. Heights of fixtures shall be appropriate for the setting (i.e., lower height light standards in light sensitive areas such as adjacent to open space);
2. Lighting shall be pointed away from light sensitive areas;
3. Lighting shall be located per Sheriff Department standards for illumination; and
4. Lighting shall be located at decision points along the trail.

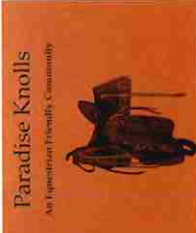


Section V: Landscape Design Guidelines



- LEGEND
- Split-Face Block Wall
 - Vinyl Fence
 - View Fence

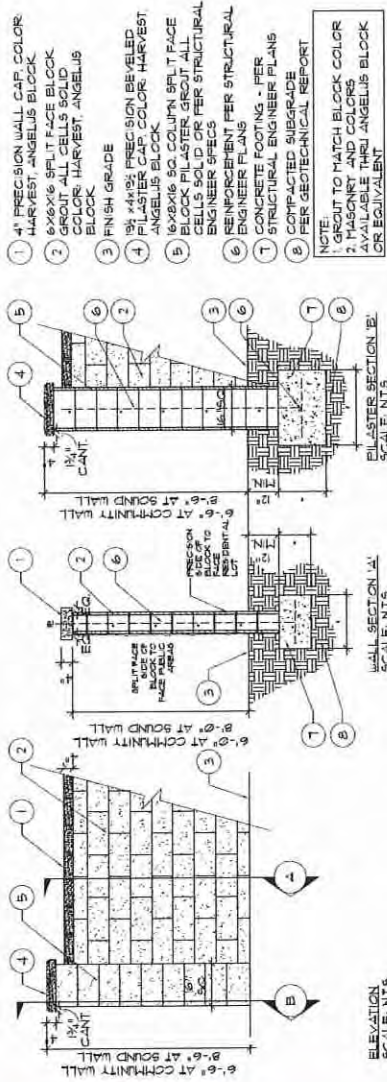
Final locations for walls and fences will be determined with Neighborhood Development Plans



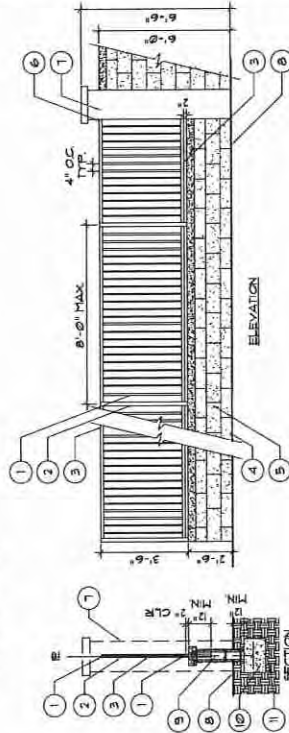
Section V: Landscape Design Guidelines



Block Wall



- 1) 4" PRECISION WALL CAP, COLOR HARVEST, ANGELUS BLOCK
 - 2) 6x6x16 SPLIT FACE BLOCK
 - 3) GROUT ALL CELLS ANGELUS BLOCK
 - 4) FINISH GRADE
 - 5) 1/2" 4x4x8 PRECISION BEVELED ANGELUS BLOCK HARVEST, 16x20x16 SQ COLUMN SPLIT FACE BLOCK PILASTER GROUT ALL CELLS SOLID OR PER STRUCTURAL ENGINEER SPECS
 - 6) REINFORCEMENT PER STRUCTURAL ENGINEER PLANS
 - 7) CONCRETE FOOTING - PER STRUCTURAL ENGINEER PLANS
 - 8) COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- NOTE:**
1) GROUT TO MATCH BLOCK COLOR AVAILABLE AND ANGELUS BLOCK OR EQUIVALENT



- 1) 5/8" DIAMETER ROUND TUBULAR STEEL FENCE PICKETS @ 4" O.C. TYP.
 - 2) 2" DIAMETER ROUND TUBULAR STEEL FENCE POST WITH FLAT CAP @ 8'-0" O.C. MAX. AND AT ALL CHANGE OF DIRECTION
 - 3) 1/2" DIAMETER ROUND TUBULAR STEEL TOP AND BOTTOM RAILS
 - 4) 4x8x16 SLUMP BLOCK CAP
 - 5) 6x8x16 INTEGRAL COLOR SLUMP BLOCK GROUT SOLID ALL CELLS
 - 6) METALIZED STEEL ANGLE BRACKETS OR CORNICE PANEL TO CONTACT FENCE PANEL TO PILASTER
 - 7) SLUMP BLOCK PERIMETER WALL
 - 8) FINISH GRADE
 - 9) REINFORCEMENT PER STRUCTURAL DETAILS
 - 10) CONCRETE FOOTING, SIZE AND REINFORCING PER STRUCTURAL ENGINEER
 - 11) COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- NOTES:**
1) REFER TO PRODUCT AND MATERIALS SCHEDULE ON SHEET JACO FINISHES
2) GROUT/MORTAR TO MATCH BLOCK/CAP COLOR

- NOTES:**
1. TUBE STEEL FABRICATOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION
 2. TUBE STEEL FABRICATOR SHALL SUBMIT SHOP DRUGS WITH HARDWARE SPEC. AND WALL THICKNESS TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO FABRICATION
 3. 1/8" FILLET WELDS ALL AROUND AT ALL JOINTS AND CONNECTIONS.
 4. ALL TUBULAR STEEL WORK SHALL BE ZINC METALIZED & PAINTED WITH ONE (1) COAT CORROSION RESISTANT PRIMER & TWO (2) COATS FINISH. CONTRACTOR SHALL SUBMIT THREE (3) SAMPLES TO THE ARCHITECT FOR APPROVAL.
 5. ALL METAL SHALL BE ZINC METALIZED. DRILL HOLES FOR METALIZING, ALL FOUR (4) SIDES OF ALL METAL SURFACES



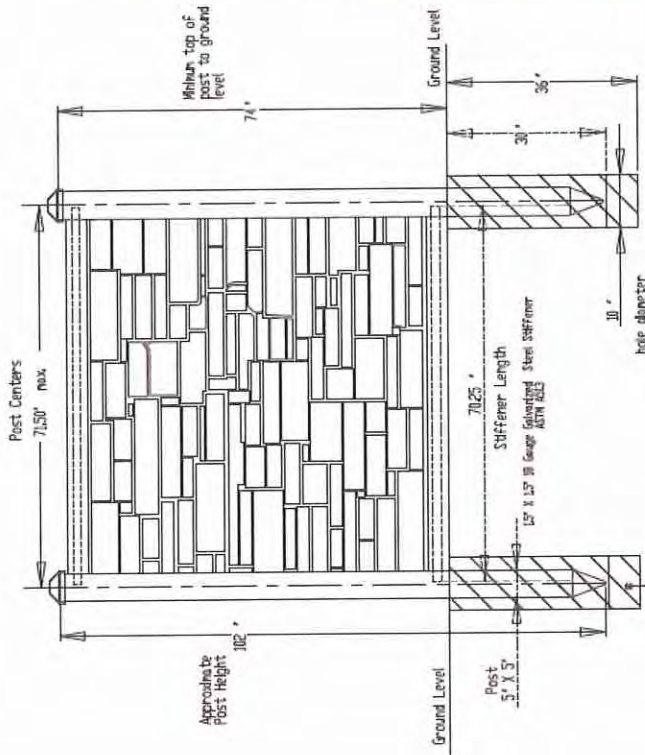
View Fence

SCALE: 3/8"=1'-0"

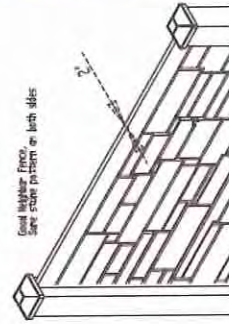
W-FEN-HTL-04



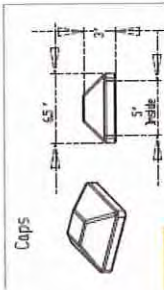
Section V: Landscape Design Guidelines



Concrete footing diameter 10" min and 30" to 36" deep min. In accordance with local conditions, codes, and standard building practices.



Actual Panel Dimensions
 Panel Weight 50lbs
 Tolerances are ± 2%



Vinyl Fence



Section V: Landscape Design Guidelines



Use of Rocks



Colored Gravel and Native Vegetation



Native Vegetation



Use of Cobbles and Stone

Section V: Landscape Design Guidelines



Commercial Signage Lighting



High Density Residential Lighting



Commercial Wall Pack Lighting



Commercial Parking Lot Lighting



Commercial Retail Lighting



Residential Street Lighting

OUTDOOR LIGHTING - FIGURE V-51



Section V: Landscape Design Guidelines



Typical Single-Family Style



Typical Multi-Family Style

APPENDIX A**General Plan Consistency Analysis**

The following General Plan and Jurupa Area Plan policies apply to the Paradise Knolls Project:

Land Use

- **LU 2.1** Accommodate land use development in accordance with the patterns and distribution of use and density depicted on the General Plan Land Use Map (Figure LU-1) and the Area Plan Land Use Maps, in accordance with the following:
 - a. Provide a land use mix at the countywide and area plan levels based on projected need and supported by evaluation of impacts to the environment, economy, infrastructure, and services.
 - b. Accommodate a range of community types and character, from agricultural and rural enclaves to urban and suburban communities.
 - c. Provide for a broad range of land uses, intensities, and densities, including a range of residential, commercial, business, industry, open space, recreation, and public facilities uses.
 - d. Concentrate growth near community centers that provide a mixture of commercial, employment, entertainment, recreation, civic, and cultural uses to the greatest extent possible.
 - e. Concentrate growth near or within existing urban and suburban areas to maintain the rural and open space character of Riverside County to the greatest extent possible.
 - f. Site development to capitalize upon multi-modal transportation opportunities and promote compatible land use arrangements that reduce reliance on the automobile.
 - g. Prevent inappropriate development in areas that are environmentally sensitive or subject to severe natural hazards.
- **LU 3.1** Accommodate land use development in accordance with the patterns and distribution of use and density depicted on the General Plan Land Use Maps (Figure LU-1) and the Area Plan Land Use Maps in accordance with the following concepts:
 - a. Accommodate communities that provide a balanced mix of land uses, including employment, recreation, shopping, and housing.
 - d. Create street and trail networks that directly connect local destinations, and that are friendly to pedestrians, equestrians, bicyclists, and others using non-motorized forms of transportation.
 - e. Re-plan existing urban cores and specific plans for higher density, compact development as appropriate to achieve the RCIP Vision.
 - g. Provide the opportunity to link communities through access to multi-modal transportation systems.
- **LU 6.1** Require land uses to develop in accordance with the General Plan and area plans to ensure compatibility and minimize impacts.

- **JURAP 3.1** Establish an assessment district or other funding mechanism for the acquisition of rights-of-way and the construction and maintenance of multi-purpose trails within the Policy Area.
- **JURAP 3.2** Establish traffic control along those streets designated as part of the multi-purpose trail system within the Policy Area.
- **JURAP 3.3** Provide special signals on those designated streets for equestrian crossing use.
- **JURAP 3.4** Discourage the encroachment of incompatible land uses into the Policy Area.
- **JURAP 7.1** Protect the multipurpose open space attributes of the Santa Ana River Corridor through adherence to policies in the Flood and Inundation Hazards section of the Safety Element, the Multiple Species Habitat Conservation Plans section of the Multipurpose Open Space Element, and the Open Space, Habitat and Natural Resource Preservation section of the Land Use Element.
- **JURAP 7.2** Require development, where allowable, to be set back an appropriate distance from the top of bluffs, in order to protect the natural and recreational values of the river and to avoid public responsibility for property damage that could result from soil erosion or future floods.
- **JURAP 7.3** Encourage future development that borders the Policy Area to design for common access and views to and from the Santa Ana River.
- **JURAP 7.4** Minimize the disruption of sensitive vegetation and species.
- **JURAP 7.5** Preserve areas subject to erosive flooding in a natural state.
- **JURAP 7.6** Encourage recreation development, such as parks and golf courses, along the river banks above and out of erosive flooding areas.
- **JURAP 7.7** Establish trails and related facilities for riding, hiking, and bicycling for the entire reach of the river connecting to the state- and nationally-designated Orange County and San Bernardino Santa Ana River trails and connected with the countywide system of trails.
- **JURAP 7.9** Require private development along the river to provide for riding, hiking, and biking trails and for connection to the countywide system of trails.
- **JURAP 7.10** Require the placement and design of roads to be compatible with the natural character of the river corridor.
- **JURAP 7.12** Discourage the addition of local road crossings. If any additional crossing is allowed, careful consideration shall be given to location, design, and landscaping to take advantage of the scenic character of the river and to avoid destruction of natural values.
- **JURAP 7.13** Discourage utility lines within the river corridor. If approved, lines shall be placed underground where feasible and shall be located in a manner to harmonize with the natural environment and amenity of the river.

- **JURAP 7.14** Prohibit recreational uses that restrict stream flows in the river in order that such flows will be adequate year round for the maintenance of fish and wildlife.
- **JURAP 9.1** To provide for the orderly development of Riverside Municipal Airport and the surrounding area, comply with the Airport Land Use Compatibility Plan for Riverside Municipal Airport as fully set forth in Appendix L and as summarized in Table 5, as well as any applicable policies related to airports in the Land Use, Circulation, Safety and Noise Elements of the Riverside County General Plan.

Circulation

- **JURAP 13.1** Design and develop the vehicular roadway system per Figure 6, Circulation, and in accordance with the Functional Classifications and standards specified in the General Plan Circulation Element.
- **JURAP 13.2** Maintain the County's roadway Level of Service standards as described in the General Plan Circulation Element.
- **JURAP 14.1** Develop a system of local trails that enhances Jurupa's recreational opportunities, links activity centers, and connects with the Riverside County regional trails system.
- **JURAP 14.2** Implement the Trails and Bikeway System, Figure 7, as discussed in the General Plan Circulation Element.
- **JURAP 15.1** Work with the Riverside Transit Agency to provide for convenient bus access to supplement vehicular modes of travel, especially in Community Center locations and in other activity centers (including employment centers).

Multipurpose Open Space

- **JURAP 16.1** Conserve existing wetlands and wetlands functions and values in the Jurupa Area Plan portion of the Santa Ana River, with a focus on conserving existing habitats in the river.
- **JURAP 16.2** Conserve alluvial fan sage scrub associated with the Santa Ana River to support key populations of Santa Ana woolly-star.
- **JURAP 16.3** Conserve clay soils to support key populations of many-stemmed dudleya, known to occur along the Jurupa Area Plan portion of the Santa Ana River.
- **JURAP 16.4** Conserve known populations of least Bell's vireo and southwestern willow flycatcher along the Santa Ana River.
- **JURAP 16.5** Provide for and maintain a continuous linkage along the Santa Ana River from the northern boundary of the Area Plan to the western boundary.
- **JURAP 16.8** Conserve grasslands adjacent to sage scrub for foraging habitat for raptors.

Safety

- **JURAP 17.1** Protect life and property from the hazards of flood events through adherence to the policies in the Flood and Inundation Hazards section of the General Plan Safety Element.
- **JURAP 17.2** Adhere to the flood proofing, flood protection requirements, and Flood Management Review requirements of Riverside County Ordinance No. 458 Regulating Flood Hazard Areas.
- **JURAP 17.3** Protect proposed development projects that are subject to flood hazards, surface ponding, high erosion potential or sheet flow, by requiring submittal to the Riverside County Flood Control and Water Conservation District for review.
- **JURAP 17.4** Reference Santa Ana River Corridor policies (JURAP 7.1 to 7.16).
- **JURAP 18.1** Continue abatement and mitigation programs for the removal of Arundo Donax within the Santa Ana River corridor.
- **JURAP 18.2** Protect life and property from wildfire hazards through adherence to the Fire Hazards section of the General Plan Safety Element.
- **JURAP 19.1** Protect life and property from seismic related incidents through adherence to the Seismic Hazards section of the General Plan Safety Element.
- **JURAP 20.1** Protect life and property through adherence to the Environmentally Sensitive Lands section of the General Plan Multipurpose Open Space Element, the policies in the Mountainous and Open Space Land Use Designations, and the Slope and Soil Instability Hazards section of the General Plan Safety Element.

Noise

- **N 1.1** Protect noise-sensitive land uses from high levels of noise by restricting noise-producing land uses from these areas. If the noise-producing land use cannot be relocated, then noise buffers such as setbacks, landscaping, or block walls shall be used. (AI 107)
- **N 1.2** Guide noise-tolerant land uses into areas irrevocably committed to land uses that are noise-producing, such as transportation corridors or within the projected noise contours of any adjacent airports. (AI 107)
- **N 1.3** Consider the following uses noise-sensitive and discourage these uses in areas in excess of 65 CNEL:
 - Schools;
 - Hospitals;
 - Rest Homes;
 - Long Term Care Facilities;
 - Mental Care Facilities;
 - Residential Uses;
 - Libraries;
 - Passive Recreation Uses; and

- Places of worship.
- **N 1.4** Determine if existing land uses will present noise compatibility issues with proposed projects by undertaking site surveys. (AI 106, 109)
- **N 1.5** Prevent and mitigate the adverse impacts of excessive noise exposure on the residents, employees, visitors, and noise-sensitive uses of Riverside County. (AI 105, 106, 108).
- **N 1.6** Minimize noise spillover or encroachment from commercial and industrial land uses into adjoining residential neighborhoods or noise-sensitive uses. (AI 107).
- **N 1.7** Require proposed land uses, affected by unacceptably high noise levels, to have an acoustical specialist prepare a study of the noise problems and recommend structural and site design features that will adequately mitigate the noise problem. (AI 106, 107)
- **N 2.2** Require a qualified acoustical specialist to prepare acoustical studies for proposed noise-sensitive projects within noise impacted areas to mitigate existing noise. (AI 105, 107)
- **N 2.3** Mitigate exterior and interior noises to the levels listed in Table N-2 to the extent feasible, for stationary sources: (AI 105)
- **N 3.2** Require acoustical studies and subsequent approval by the Planning Department and the Office of Industrial Hygiene, to help determine effective noise mitigation strategies in noise-producing areas. (AI 105)
- **N 4.1** Prohibit facility-related noise, received by any sensitive use, from exceeding the following worst-case noise levels: (AI 105)
 - a. 45 dBA-10-minute L_{eq} between 10:00 p.m. and 7:00 a.m.
 - b. 65 dBA-10-minute L_{eq} between 7:00 a.m. and 10:00 p.m.
- **N 4.2** Develop measures to control non-transportation noise impacts. (AI 105)
- **N 4.3** Ensure any use determined to be a potential generator of significant stationary noise impacts be properly analyzed, and ensure that the recommended mitigation measures are implemented. (AI 105, 106, 109)
- **N 4.4** Require that detailed and independent acoustical studies be conducted for any new or renovated land uses or structures determined to be potential major stationary noise sources. (AI 105)
- **N 4.5** Encourage major stationary noise-generating sources throughout the County of Riverside to install additional noise buffering or reduction mechanisms within their facilities to reduce noise generation levels to the lowest extent practicable prior to the renewal of Conditional Use Permits or business licenses or prior to the approval and/or issuance of new Conditional Use Permits for said facilities. (AI 105, 107)
- **N 6.3** Require commercial or industrial truck delivery hours be limited when adjacent to noise-sensitive land uses unless there is no feasible alternative or there are overriding transportation benefits. (AI 105, 107)

- **N 8.2** Ensure the inclusion of noise mitigation measures in the design of new roadway projects in the County.
- **N 8.3** Require development that generates increased traffic and subsequent increases in the ambient noise level adjacent to noise-sensitive land uses to provide for appropriate mitigation measures. (AI 106).
- **N 8.4** Require that the loading and shipping facilities of commercial and industrial land uses, which abut residential parcels be located and designed to minimize the potential noise impacts upon residential parcels. (AI 105)
- **N 8.5** Employ noise mitigation practices when designing all future streets and highways, and when improvements occur along existing highway segments. These mitigation measures will emphasize the establishment of natural buffers or setbacks between the arterial roadways and adjoining noise-sensitive areas. (AI 105.)
- **N 8.6** Require that all future exterior noise forecasts use Level of Service C, and be based on designed road capacity or 20-year projection of development (whichever is less) for future noise forecasts. (AI 106)
- **N 8.7** Require that field noise monitoring be performed prior to siting to any sensitive land uses along arterial roadways. Noise level measurements should be of at least 10 minutes in duration and should include simultaneous vehicle counts so that more accurate vehicle ratios may be used in modeling ambient noise levels. (AI 106)
- **N 9.3** Encourage the development and use of alternative transportation modes including bicycle paths and pedestrian walkways to minimize vehicular noise within sensitive receptor areas.
- **N 11.1** Utilize natural barriers such as hills, berms, boulders, and dense vegetation to assist in noise reduction. (AI 108).
- **N 11.2** Utilize dense landscaping to effectively reduce noise. However, when there is a long initial period where the immaturity of new landscaping makes this approach only marginally effective, utilize a large number of highly dense species planted in a fairly mature state, at close intervals, in conjunction with earthen berms, setbacks, or block walls. (AI 108)
- **N 12.1** Minimize the impacts of construction noise on adjacent uses within acceptable practices. (AI 105, 108)
- **N 12.2** Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas. (AI 105, 108)
- **N 12.3** Condition subdivision approval adjacent to developed/occupied noise-sensitive land uses (see policy N 1.3) by requiring the developer to submit a construction-related noise mitigation plan to the County for review and approval prior to issuance of a grading permit. The plan must depict the location of construction equipment and how the noise from this equipment will be mitigated during construction of this project, through the use of such methods as:
 - a. Temporary noise attenuation fences;
 - b. Preferential location of equipment; and

c. Use of current noise suppression technology and equipment. (AI 107)

- **N 12.4** Require that all construction equipment utilizes noise reduction features (e.g. mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer. (AI 105, 108)
- **N 13.1** Enforce the California Building Standards that sets standards for building construction to mitigate interior noise levels to the tolerable 45 CNEL limit. These standards are utilized in conjunction with the Uniform Building Code by the County's Building Department to ensure that noise protection is provided to the public. Some design features may include extra-dense insulation, double-paned windows, and dense construction materials.
- **N 13.2** Continue to develop effective strategies and mitigation measures for the abatement of noise hazards reflecting effective site design approaches and state-of-the-art building technologies. (AI 108)
- **N 13.3** Incorporate acoustic site planning into the design of new development, particularly large scale, mixed-use, or master-planned development, through measures which may include:
 - Separation of noise-sensitive buildings from noise-generating sources;
 - Use of natural topography and intervening structure to shield noise-sensitive land uses; and
 - Adequate sound proofing within the receiving structure. (AI 106)
- **N 13.4** Consider and, when necessary to lower noise to acceptable limits, require noise barriers and landscaped berms. (AI 108)
- **N 13.5** Consider the issue of adjacent residential land uses when designing and configuring all new, non-residential development. Design and configure on-site ingress and egress points that divert traffic away from nearby noise-sensitive land uses to the greatest degree practicable (AI 106, 107)
- **N 13.6** Prevent the transmission of excessive and unacceptable noise levels between individual tenants and businesses in commercial structures and between individual dwelling units in multi-family residential structures. (AI 105, 108)
- **N 13.8** Review all development applications for consistency with the standards and policies of the Noise Element of the General Plan.
- **N 14.1** Minimize the potential adverse noise impacts associated with the development of mixed-use structures where residential units are located above or adjacent to commercial uses. (AI 106, 107, 108)
- **N 14.2** Require that commercial and residential mixed-use structures minimize the transfer or transmission of noise and vibration from the commercial land use to the residential land use. (AI 105)
- **N 14.3** Minimize the generation of excessive noise level impacts from entertainment and restaurant/bar establishments into adjacent residential or noise-sensitive uses. (AI 105, 107)

- **N 15.1** Restrict the placement of sensitive land uses in proximity to vibration-producing land uses. (AI 105)
- **N 15.2** Consider the following land uses sensitive to vibration:
 - Hospitals;
 - Residential Areas;
 - Concert Halls;
 - Libraries;
 - Sensitive Research Operations;
 - Schools; and
 - Offices.
- **N 18.5** Require new developments that have the potential to generate significant noise impacts to inform impacted users on the effects of these impacts during the environmental review process. (AI 106, 107)

Housing

- **H 5.1** Encourage the use of energy conservation features in residential construction and remodeling.

Air Quality

- **AQ 1.4** Coordinate with the South Coast Air Quality Management District to ensure that all elements of air quality plans regarding reduction of air pollutant emissions are being enforced. (AI 111)
- **AQ 2.2** Require site plan designs to protect people and land uses sensitive to air pollution through the use of barriers and/or distance from emissions sources when possible. (AI 114)
- **AQ 2.3** Encourage the use of pollution control measures such as landscaping, vegetation and other materials, which trap particulate matter or control pollution. (AI 114)
- **AQ 4.1** Encourage the use of building materials/methods which reduce emissions.
- **AQ 4.2** Encourage the use of efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces and boiler units.
- **AQ 4.3** Encourage centrally heated facilities to utilize automated time clocks or occupant sensors to control heating.
- **AQ 4.4** Require residential building construction to comply with energy use guidelines detailed in Title 24 of the California Administrative Code.
- **AQ 4.6** Require stationary air pollution sources to comply with applicable air district rules and control measures.
- **AQ 4.7** To the greatest extent possible, require every project to mitigate any of its anticipated emissions which exceed allowable emissions as established by the SCAQMD, MDAQMD, SOCAB, the Environmental Protection Agency and the California Air Resources Board.

- **AQ 4.9** Require compliance with SCAQMD Rules 403 and 403.1, and support appropriate future measures to reduce fugitive dust emanating from construction sites.
- **AQ 4.10** Coordinate with the SCAQMD and MDAQMD to create a communications plan to alert those conducting grading operations in the County of first, second, and third stage smog alerts, and when wind speeds exceed 25 miles per hour. During these instances all grading operations should be suspended (AI 111)
- **AQ 5.1** Utilize source reduction, recycling and other appropriate measures to reduce the amount of solid waste disposed of in landfills.
- **AQ 5.4** Encourage the incorporation of energy-efficient design elements, including appropriate site orientation and the use of shade and windbreak trees to reduce fuel
- **AQ 7.2** Work with SCAQMD and MDAQMD to develop a means to encourage the location of new commercial and industrial development in those localities where jobs are most needed. (AI 18)
- **AQ 8.4** Support new mixed-use land use patterns and community centers which encourage community self-sufficiency and containment, and discourage automobile dependency. (AI 14)
- **AQ 8.6** Encourage employment centers in close proximity to residential uses. (AI 14)
- **AQ 8.7** Implement zoning code provisions which encourage community centers, telecommuting and home-based businesses. (AI 1)
- **AQ 8.8** Promote land use patterns which reduce the number and length of motor vehicle trips. (AI 26)
- **AQ 8.9** Promote land use patterns that promote alternative modes of travel. (AI 26)
- **AQ 17.1** Reduce particulate matter from agriculture, construction, demolition, debris hauling, street cleaning, utility maintenance, railroad rights-of-way, and off-road vehicles to the extent possible. (AI 123)
- **AQ 17.5** Adopt incentives and/or procedures to limit dust from agricultural lands and operations, where applicable. (AI 123)
- **AQ 17.6** Reduce emissions from building materials and methods that generate excessive pollutants, through incentives and/or regulations.